

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Dave

Surname

Cook

Company Name

Diamond Windows Ltd

Address

Address line 1

6 Arrowhead Close

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

undefined

Postcode

GL4 6YH

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Clay facing brick

Proposed materials and finishes:

Clay Facing brick

Type:

Roof

Existing materials and finishes:

Brown clay tile

Proposed materials and finishes:

Brown clay tile

Type:

Windows

Existing materials and finishes:

white UPVC.

Proposed materials and finishes:

White UPVC

Type:

Doors

Existing materials and finishes:

White UPVC

Proposed materials and finishes:

White UPVC

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

BP2001 - Proposed Elevations

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

22/00433/PREAPP

Date (must be pre-application submission)

24/06/2022

Details of the pre-application advice received

Written feedback following a site visit .

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
 No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

Cen

Surname

Davies

Declaration Date

18/07/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

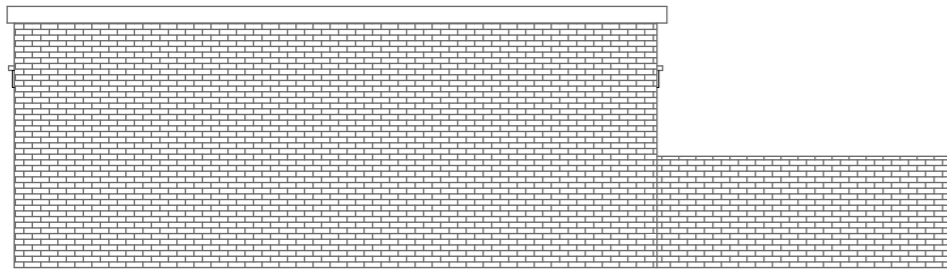
I / We agree to the outlined declaration

Signed

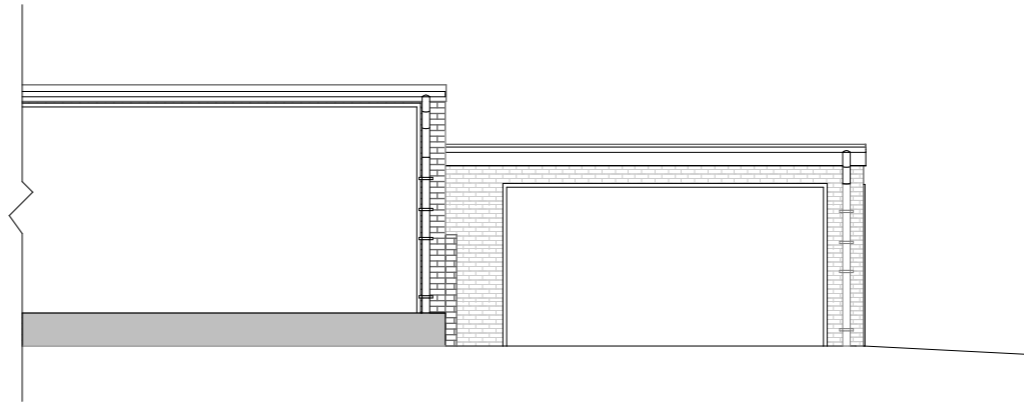
Cen Davies

Date

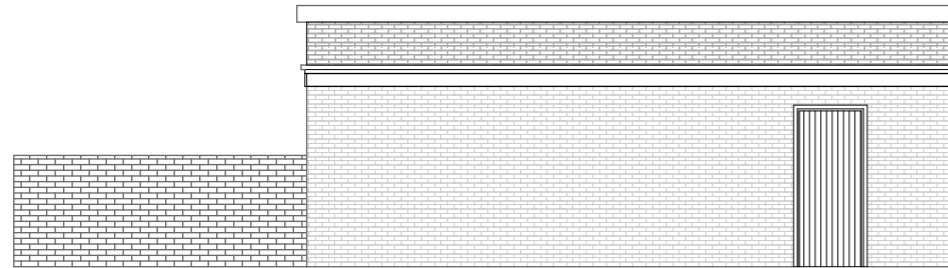
18/07/2022



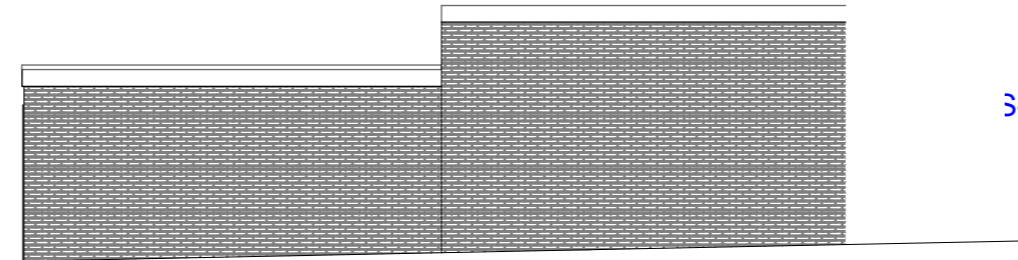
EXISTING SOUTH WEST ELEVATION



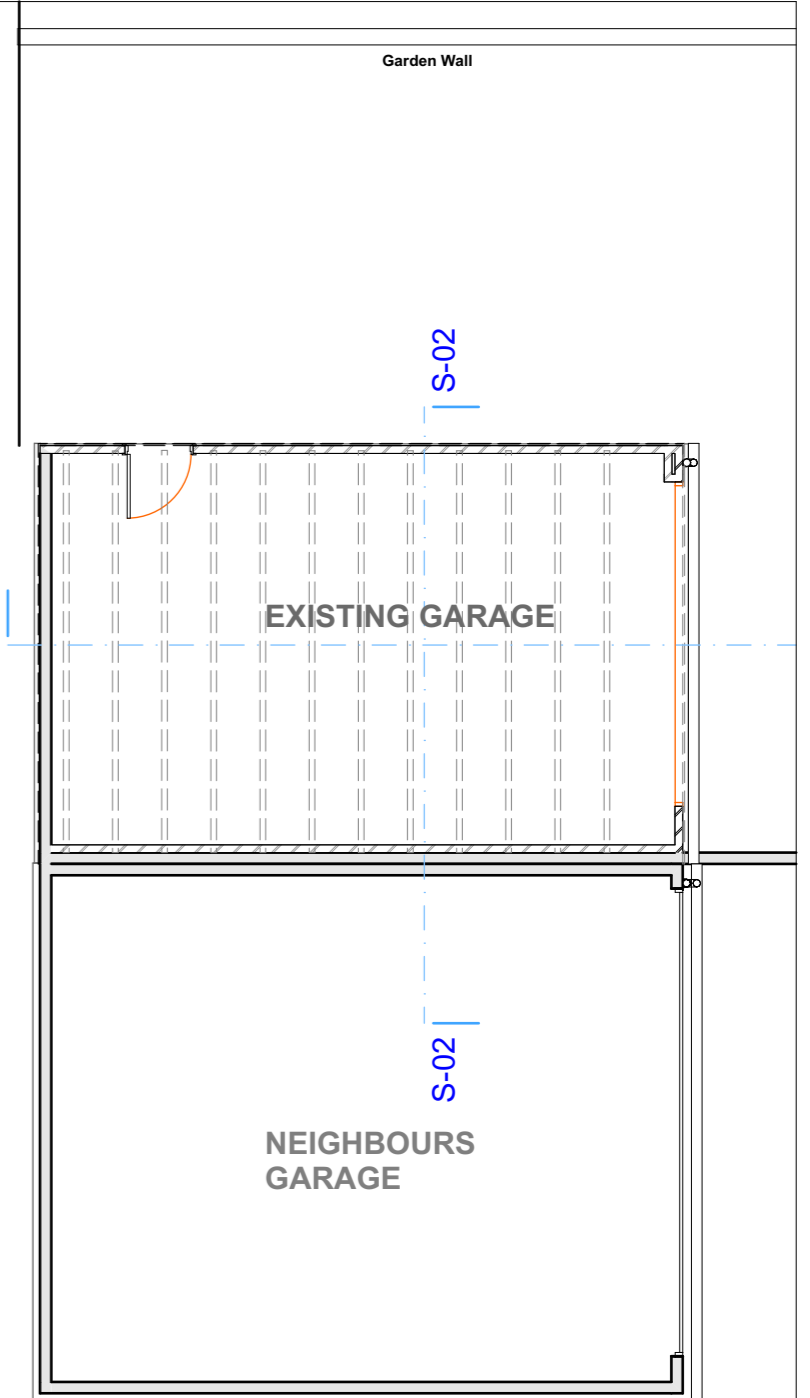
EXISTING SOUTH EAST ELEVATION



EXISTING NORTH EAST ELEVATION



EXISTING NORTH WEST ELEVATION



Revision History	



Danford Villas
 No 4 Danford Villas
 Hartpury
 Gloucester
 GL193BH

Project Name
Proposed Change to existing garage roof to provide pitched roof with additional garage extension

Drawing Name
Existing Elevations

Drawing Status
For approval

Created by by
 CP Davies

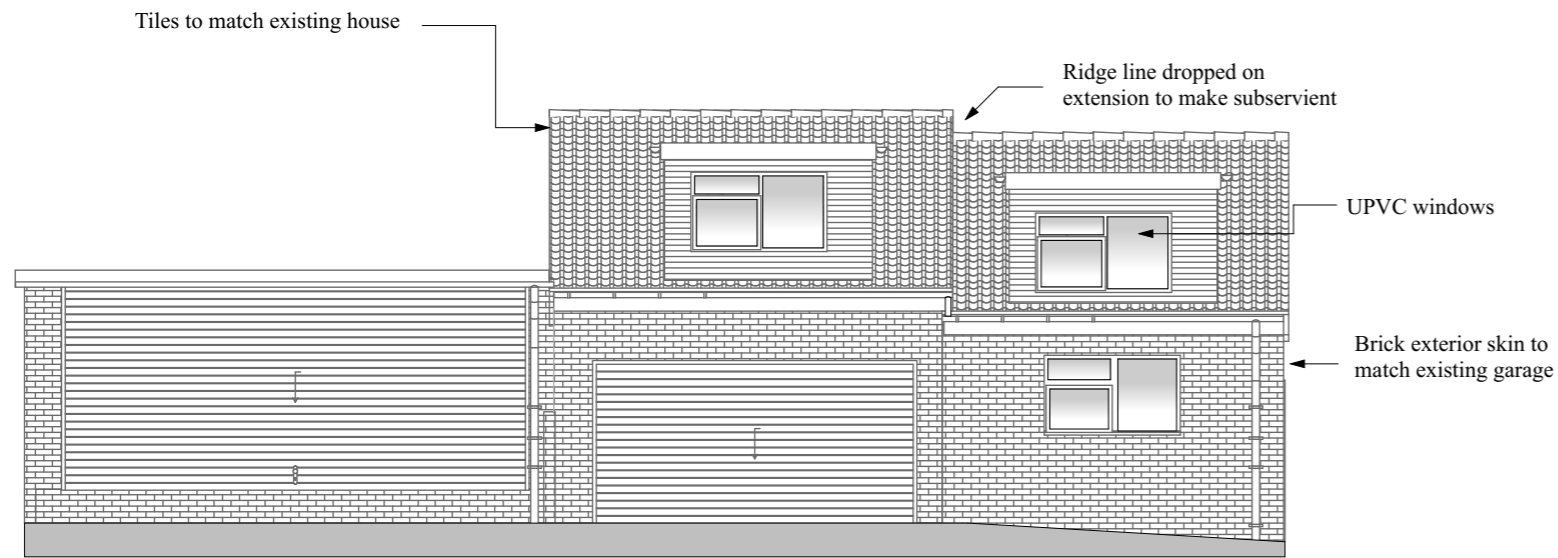
Checked by
 CP Davies

Date
 06.07.22

Date
 06.07.22

Drawing Scale
1:100

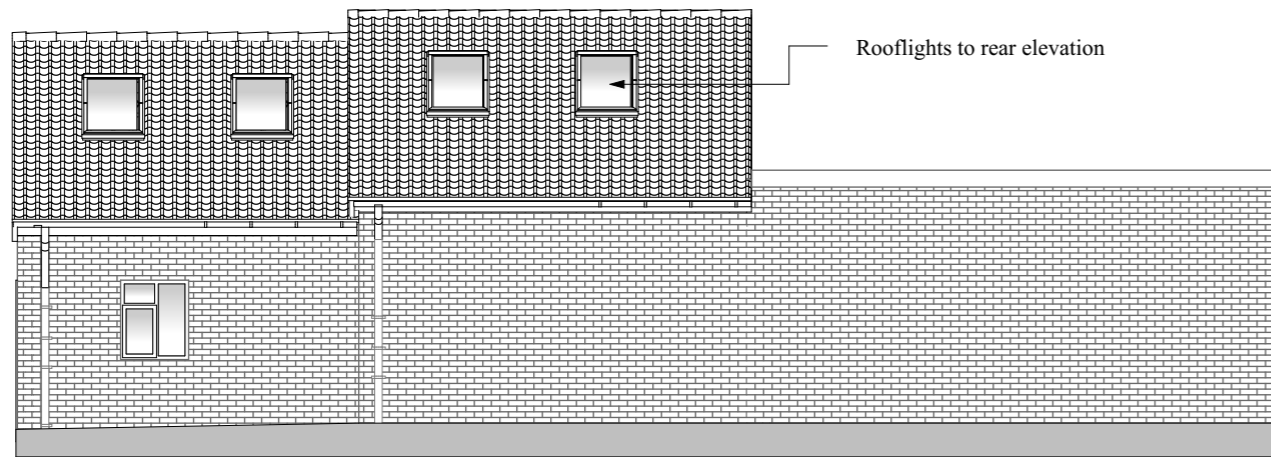
Layout ID
AC-EP/001



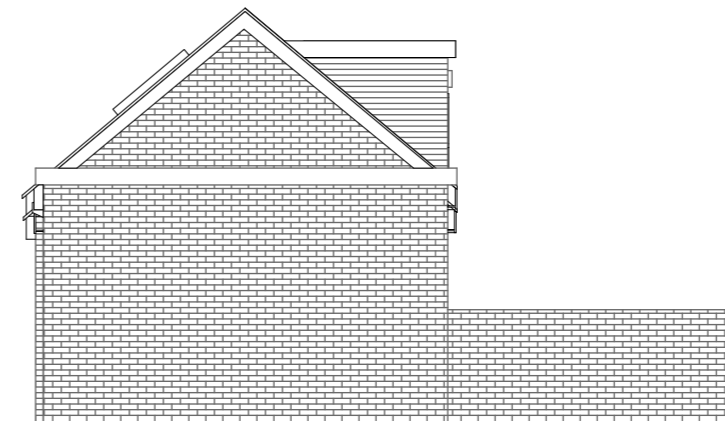
PROPOSED SOUTH EAST ELEVATION



PROPOSED NORTH EAST ELEVATION



PROPOSED NORTH WEST ELEVATION

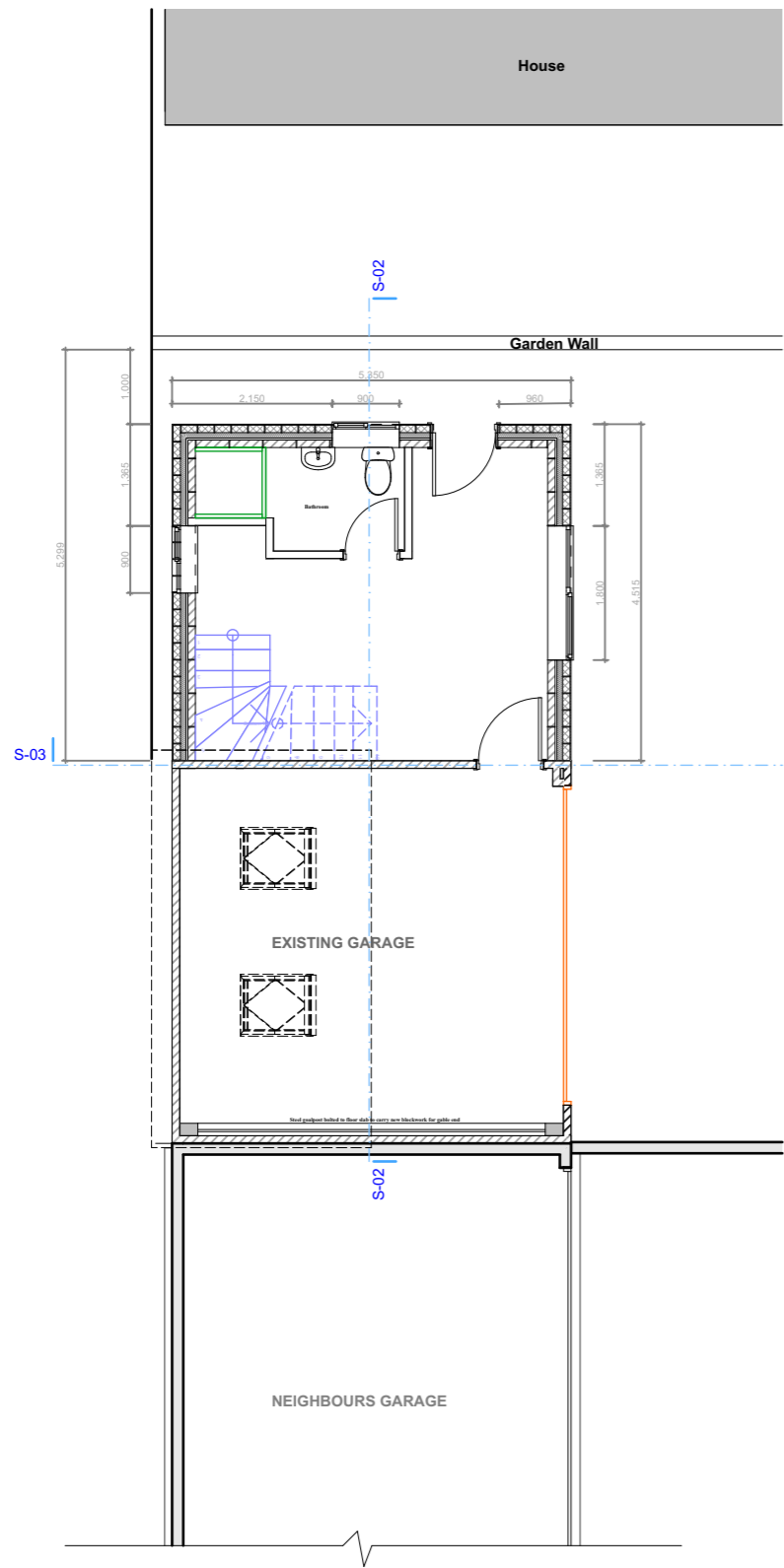


PROPOSED SOUTH WEST ELEVATION

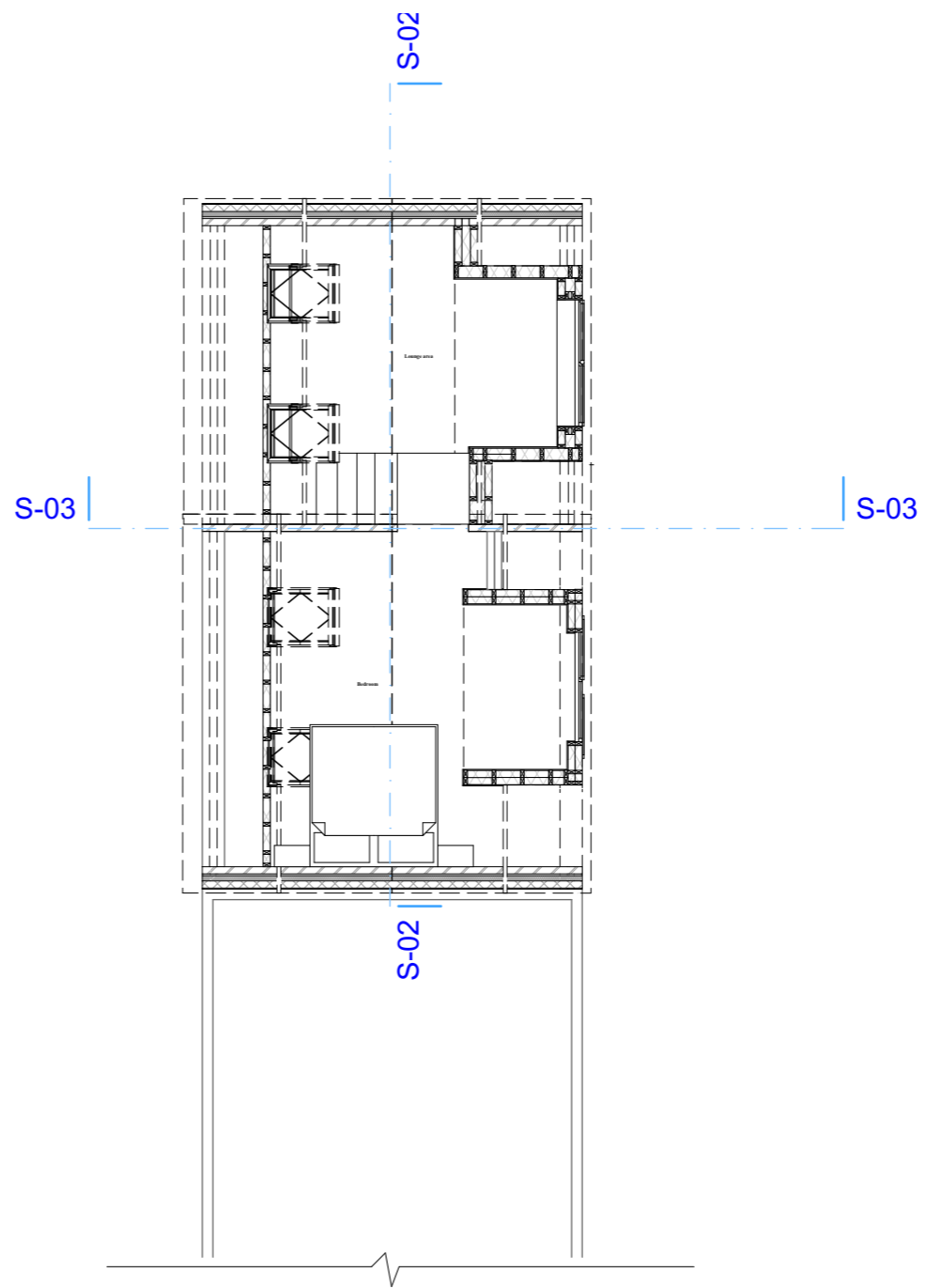
Revision History



Danford Villas No 4 Danford Villas Hartpur Gloucester GL193BH	Project Name Proposed Change to existing garage roof to provide pitched roof with additional garage extension	Drawing Name Proposed Elevations	Created by by CP Davies	Date 05.07.22	Drawing Scale 1:100
	Drawing Status For approval	Checked by CP Davies	Date 05.07.22	Layout ID AC-PP/001	



PROPOSED GROUND FLOOR



PROPOSED FIRST FLOOR

Revision History	

Drawing Scale	1:100
Layout ID	AC-PP/001



Danford Villas
 No 4 Danford Villas
 Hartpur
 Gloucester
 GL193BH

Project Name
**Proposed Change to existing garage
 roof to provide pitched roof with
 additional garage extension**

Drawing Name
Proposed FLOOR PLANS

Drawing Status
For approval

Created by by
 CP Davies

Checked by
 CP Davies

Date
 05.07.22

Date
 05.07.22

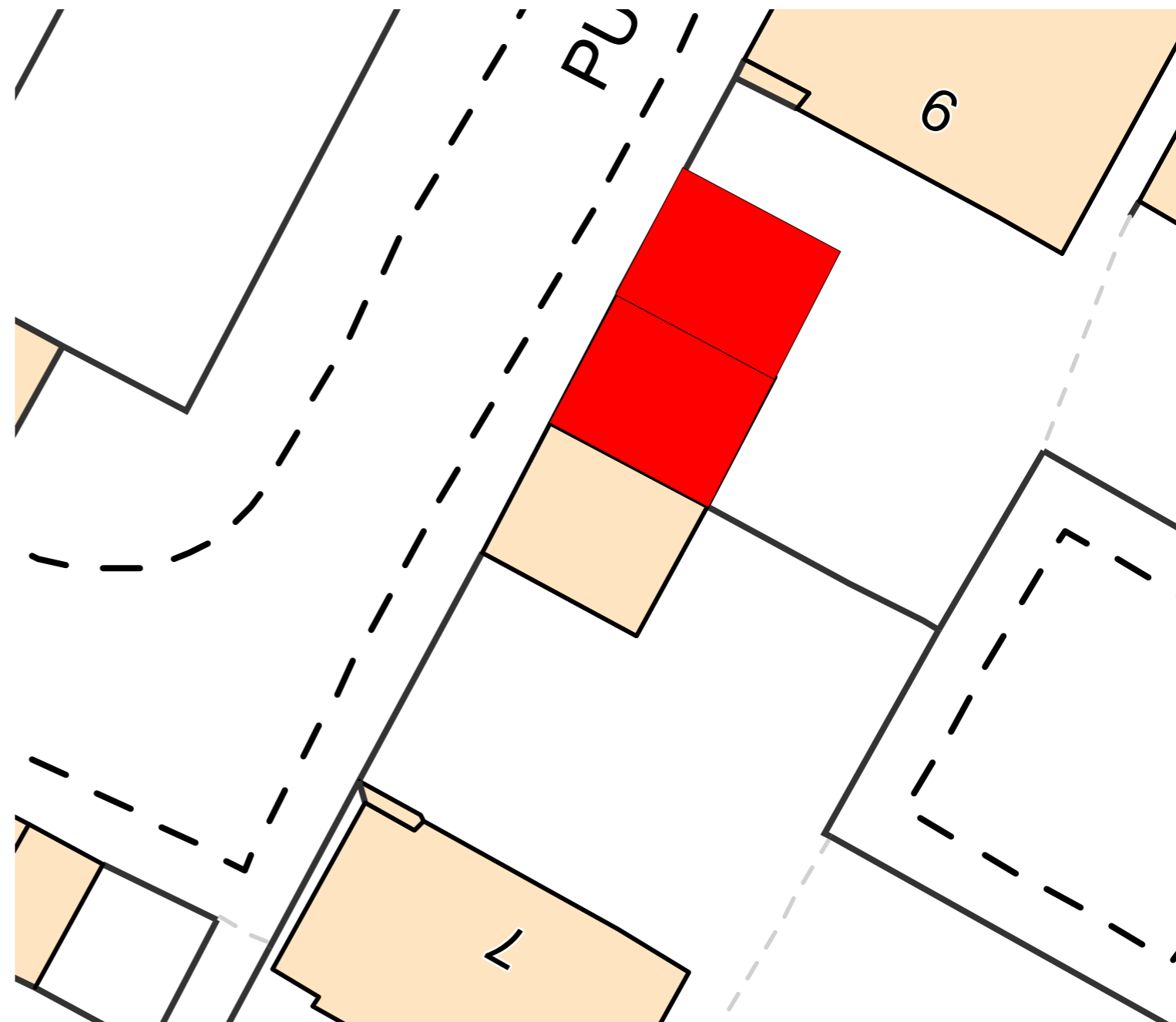


**6 Arrowhead Close,
Gloucester GL4 6YH**

OS MasterMap 1250/2500/10000 scale
Monday, April 25, 2022, ID: CM-01033961
www.centremapslive.co.uk

1:1250 scale print at A5, Centre: 384663 E, 215786 N

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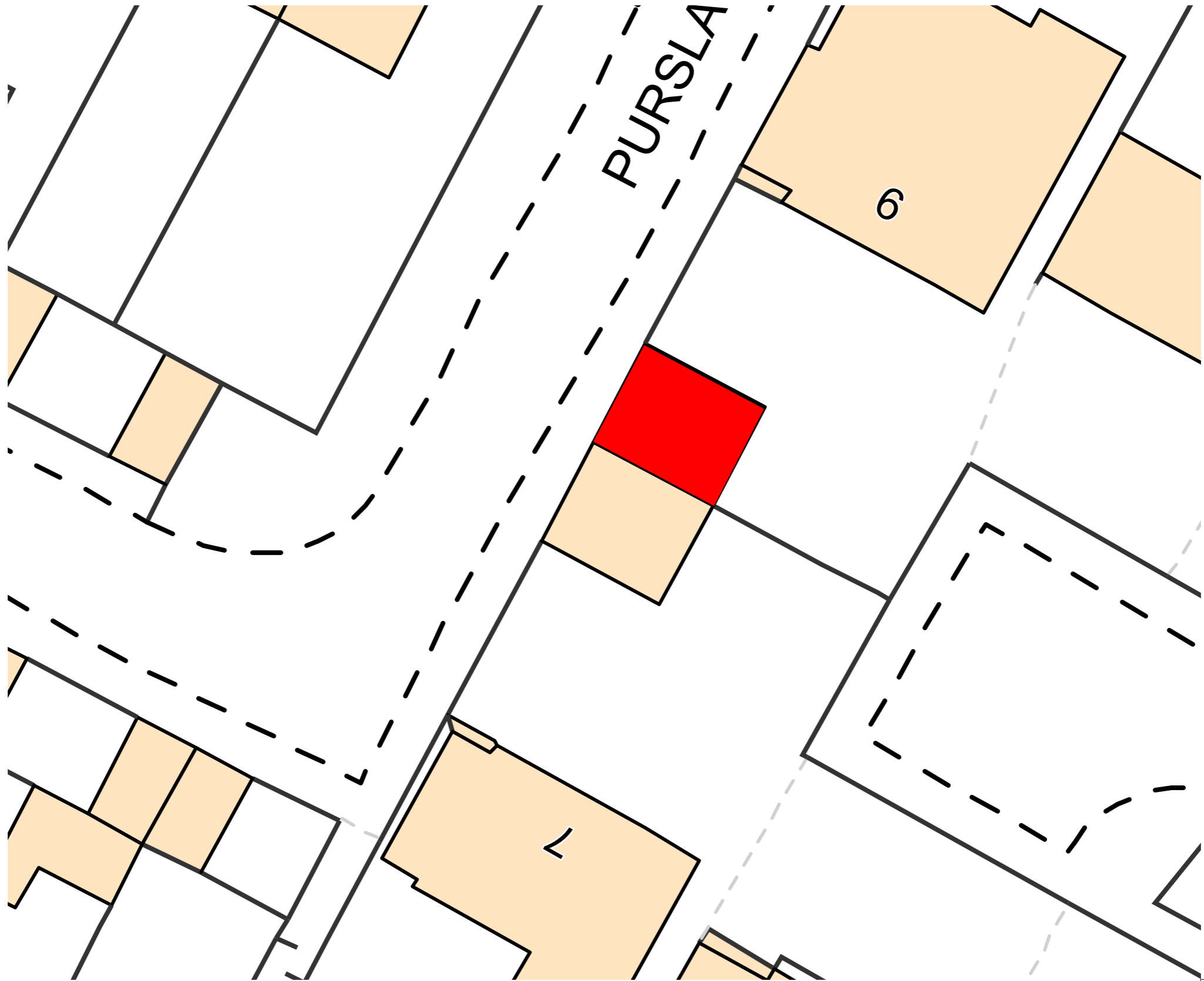
Proposed Block Plan 1:200

Site Location Plan 1:1250

Revision History	



Danford Villas No 4 Danford Villas Hartpur Gloucester GL193BH	Project Name Proposed alterations to exterior with additional rear single storey extensions and side extension.	Drawing Name Site Plan & Layout Plans	Created by by CP Davies	Date 03/09/21	Drawing Scale 1:1250 & 1:200
		Drawing Status For approval	Checked by CP Davies	Date 03/09/21	Layout ID DV001-Loc/Site



Danford Villas
 No 4 Danford Villas
 Hartpury
 Gloucester
 GL193BH

Project Name
**Proposed alterations to exterior with
 additional rear single storey
 extensions and side extension.**

Drawing Name
EXISTING SITE PLAN

Drawing Status
For approval

Created by
 CP Davies

Checked by
 CP Davies

Date
 26/07/22

Date
 26/07/22

Drawing Scale
1:200 @ A3

Layout ID
DV001-Loc/EXIST



DESIGN AND ACCESS STATEMENT FOR PLANNING APPLICATIONS
(no listed building consent required)

Name and address of proposed development site –
6 Arrowhead Close, Gloucester GL4 6YH

Proposed Development –
Proposed first floor extension above existing garage with additional dormer ground floor extension to side elevation.

Assessment of the surroundings of the proposed development

No 6 Arrowhead close is a quiet cul de sac where all of the properties are of a dormer type build. The garage in question is set against a wall separating Arrowhead close with Purslane Close. It is joined to a neighbouring garage and both garages are set a right angles to the properties that are built opposite each other on Arrowhead Close.

The garages are on a slight slope with the neighbouring garage set higher than no 6 Arrowhead close garage.

Consultation -

There has been consultation with Gloucester Planning regarding this proposal and a set out the outcome below:

Dear Mr Davies,

Please accept this email as the response to your pre-application enquiry relating to a proposal to extend an existing garage to create a domestic annex at 6 Arrowhead Close, Gloucester, GL4 6YH.

This response is provided based on the information submitted within your pre-application submission and the matters discussed at our recent site meeting. It is **not** a grant of planning permission and is the informal view of the case officer.

Site Description, History and Proposed Development:

The application property is a mid-to-late C20 detached dwelling set within a broadly suburban street scene. The property is not within a conservation area and the council's records confirm no other planning constraints that would be relevant to the application.

The proposal is to extend an existing flat roofed double garage to create a domestic annex.

Planning policy

At the time of writing any formal planning application submitted for a householder development would be assessed against the following planning policies and guidance documents.

National guidance

National Planning Policy Framework (NPPF); and National Planning Practice Guidance (NPPG).

Development Plan

Gloucester, Cheltenham and Tewkesbury
Joint Core Strategy (Adopted December
2017) (JCS)

Policies SD4 (Design requirements), SD14
(Health and Environmental Quality) and
INF2 (Flood Risk Management).

City of Gloucester Local Plan (Adopted 14 September 1983)

The statutory Development Plan for Gloucester includes the partially saved 1983 City of Gloucester Local Plan. Paragraph 213 of the NPPF provides that due weight should be given to policies in existing plans according to their degree of consistency with the NPPF, the closer the policies in the plan to the policies in the NPPF, the greater the weight that may be given. The majority of the policies in the 1983 Local Plan are out-of-date and superseded by later planning policy including the NPPF and the Joint Core Strategy. None of the saved policies are relevant to the consideration of this application.

Emerging Development Plan: Gloucester City Plan (GCP)

The GCP is the daughter plan to the JCS, seeking to deliver the JCS locally by identifying and allocating local sites for development and developing criteria-based policies against which all development within the City will be determined.

The hearing sessions for the examination of the pre-submission version of the Gloucester City Plan (GCP) have concluded and the examining Inspector's post hearing letter has been received. The letter provides the inspector's view on modifications required to make the plan sound. Policies which are not listed as requiring main modifications may now attract more weight in the consideration of applications, with those policies which require main modifications attracting less weight depending on the extent of the changes required.

The Plan remains an emerging plan and the weight that may be attributed to individual policies will still be subject to the extent to which there are unresolved objections (the less significant the unresolved objections, the greater the weight that may be given) and the degree of consistency with the NPPF (the closer the policies to those in the NPPF the greater the weight that may be given).

- Policy A10 relates to the development of domestic annexes (significant weight);
- Policy E6 relates to flooding, sustainable drainage, and wastewater (significant weight).

Supplementary Planning Documents (SPD)

Gloucester City Council; *Home Extensions Guide* 2008 (HEG); and
Gloucester County Council: *Manual for Gloucestershire Streets* 2020 (MfGS).

Principle

GCP policy A10 is most relevant to consideration of the general principle of the proposed development. A10 states the following:

Annexes to existing dwellings will be granted planning permission where it can be demonstrated that there is a clear need to accommodate a relative, dependant or fulltime carer and the proposal meets the following criteria:

- 1. There is a functional link with the principal dwelling; the accommodation provided within the annexe is ancillary and there remains a reliance on the connection with the main dwelling; and*
- 2. Is of a subservient design and scale to the existing dwelling; and*

3. *Is in the same ownership as the principal dwelling; and*
4. *There will be no boundary demarcation or sub-division of garden areas between the proposed annexe and the principal dwelling.*

(I consider that the proposal is compliant with all of the above)

As discussed on site, I consider the occupation of the proposed annex by a family member (teenager/young adult) who is seeking a greater degree of independence, but may not be able to secure their own independent accommodation would be sufficient to demonstrate a 'need' for the development in terms of the policy.

Providing the accommodation was not capable of being occupied as a self-contained unit (i.e. with living areas, bedroom, bathroom and kitchen) I consider the requirements of point 1 should be met.

Matters relating to the design and scale are discussed in greater detail below.

Based on our discussion on site, I consider there should be no obvious reason why points 3 & 4 could not be met.

Assessment of scale, location and design

The current proposal would result in a relatively visible addition to the built form within the site. I don't consider the garage extension could be considered to be a subservient addition to the garage, but in the context of the wider plot and existing house I consider the proposal would not be seen as an overly large addition. The plot is relatively large and is capable of accepting the garage extension without appearing overly cramped.

I would recommend that the garage extension shouldn't encroach substantially into the currently open gap that exists between the building and existing house. Some infilling of this gap is likely to be acceptable but approximately 3.5-4 metres gap should be maintained in my view.

On site we discussed the possibility of including a dormer window into the design of the new garage roof. My view is that this should be avoided if possible. If a dormer is proposed the least problematic location would be the south-east facing roof plane as it would be seen within the context of the wider street scene at Arrowhead Close that includes a number of front dormer windows of varying design. However, the presence of a dormer window within the garage extension could result in a design that would be read as a new building, tantamount to a dwelling in its own right. There is a risk that such a design would not be considered to be subservient to the existing plot.

Other considerations

I do not consider the proposal would give rise to any notable harm to neighbouring residential amenities as the garage extension would be set a sufficient separation distance from neighbouring dwellings. As above, I suggest that a sufficiently sized gap between the garage extension and existing dwelling is maintained to ensure that no harmful reduction in daylight currently available to existing windows within the main house occurs.

The site is not located within any flood risk areas (either river or surface water flooding) and I do not consider the proposal would justify any particular planning control in terms of surface water drainage.

Sufficient off-street car parking to the front of the garage would be able to be retained so I consider there would be no need to provide any additional car parking to compensate for the development.

Summary

I am broadly satisfied the proposal is able to comply with the aims of JCS policies SD4 and SD14 and GCP policy A10. Should a formal planning application for the proposed development be submitted, I consider it would be likely to be recommended for approval, providing the final design was considered to be within the tolerances of a subservient addition to the existing plot and the accommodation provided was not viewed as capable of being occupied as a self-contained unit.

This information represents my informal opinion and is given in good faith. It is in no way binding on any future decisions of the local planning authority.

I trust this information is of assistance to you.

Kind regards,

Dave

DESIGN COMPONENTS

Layout -

This proposal aims to provide accommodation in the night time for the owners sibling son. There is no kitchen and just a shower.

Scale –

We have chosen a suitable roof pitch to get headroom within the building. Despite planning officers reservations about Dormer windows, two have been added to gain extra headroom in the eaves and we hope that the scale of these does not lead to a refusal.

Appearance –

The appearance of the building will match the surroundings. Brickwork will match the surroundings with white window frames and meet a soffit board and fascia of white UPVC. This leads to roof tiles that will match the tiles on the existing properties surrounding the garage.

ACCESS COMPONENTS

Technical advice -

No technical advice has been sought.

Relevant Policies -

The proposal is compliant with all the policies that have been listed above

Degree of access

Access to the property will not change – there is still wheelchair access to the front door up a ramp.

Emergency access

Is there sufficient access for the emergency services ?.

Yes – from the front drive

Other – All surface water drain off will be directed into the existing system off the existing garage roof.