

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text" value="10"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Myrtle Close"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL4 6YP"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="384415"/>
Northing (y)	<input type="text" value="216154"/>

Description

2. Applicant Details

Title	<input type="text" value="Miss"/>
First name	<input type="text" value="Kim"/>
Surname	<input type="text" value="Morris"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="10, Myrtle Close"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text"/>

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant? Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent? Yes No

5. Materials

Does the proposed development require any materials to be used externally? Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	red brick to match existing house

5. Materials

Roof	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	grey concrete tiles to match existing

Windows	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	white upvc with matching cover panels

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

Existing Elevations KM-010 03, Existing Floor Plans - KM-010 02, Proposed Elevations KM-010 06, Proposed First Floor Plans KM-010 05, Proposed Ground Floor Plan KM-010 04, Proposed Block Plan and Location Plan KM-010 01

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff

11. Authority Employee/Member

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners* and/or agricultural tenants**.

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990.

Owner/Agricultural Tenant

Person role

- The applicant
- The agent

Title

First name

Surname

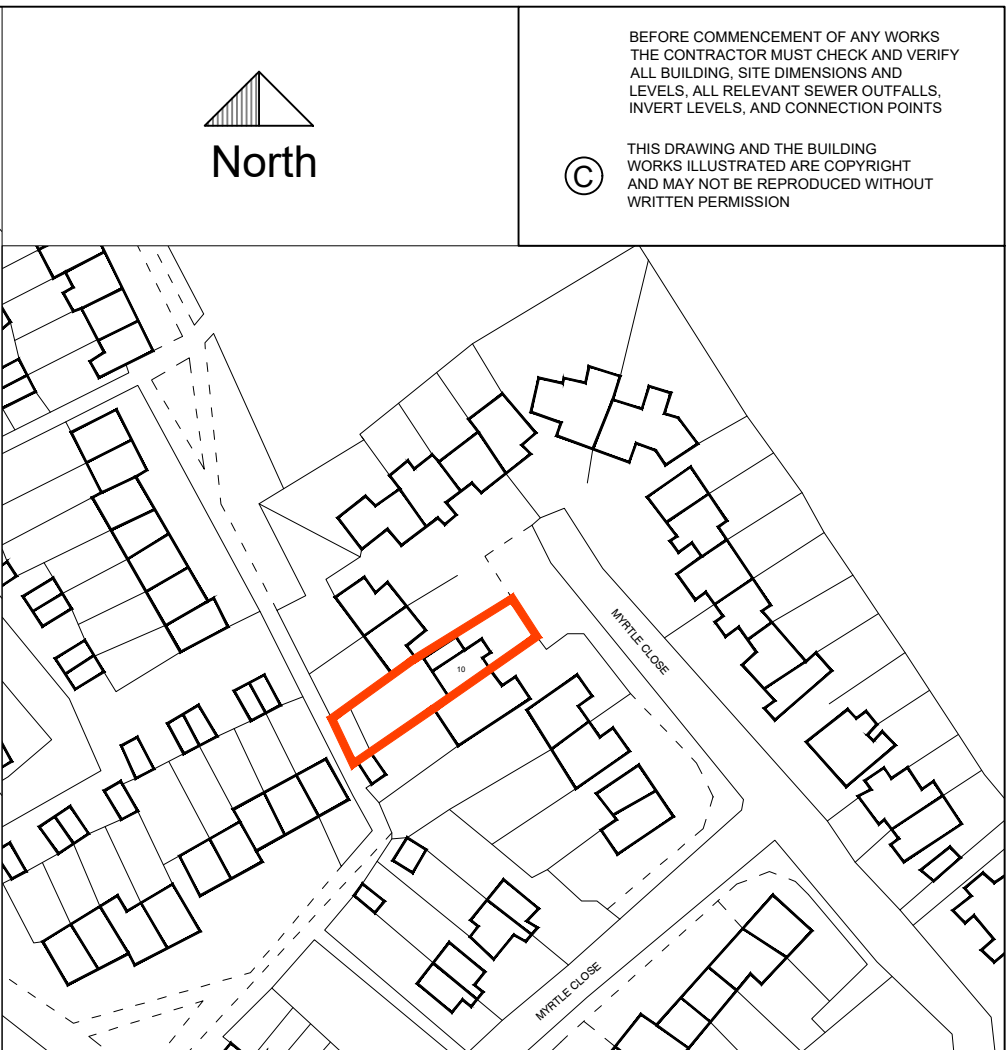
Declaration date (DD/MM/YYYY)

Declaration made

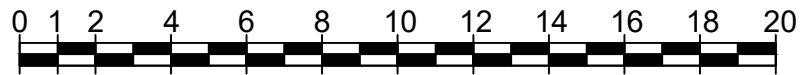
13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

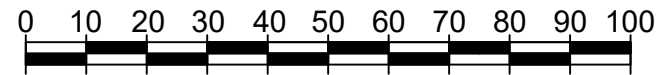
Date (cannot be pre-application)



Block Plan Sc 1:200



Area Plan Sc 1:1250



ELEVATION ONE
BUILDING DESIGN LTD

8-10 LONG STREET,
BURSLEY, GLOS, GL11 5HZ

web: www.elevationone.co.uk

Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP

Drawing Title:-
Site Plans

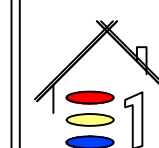
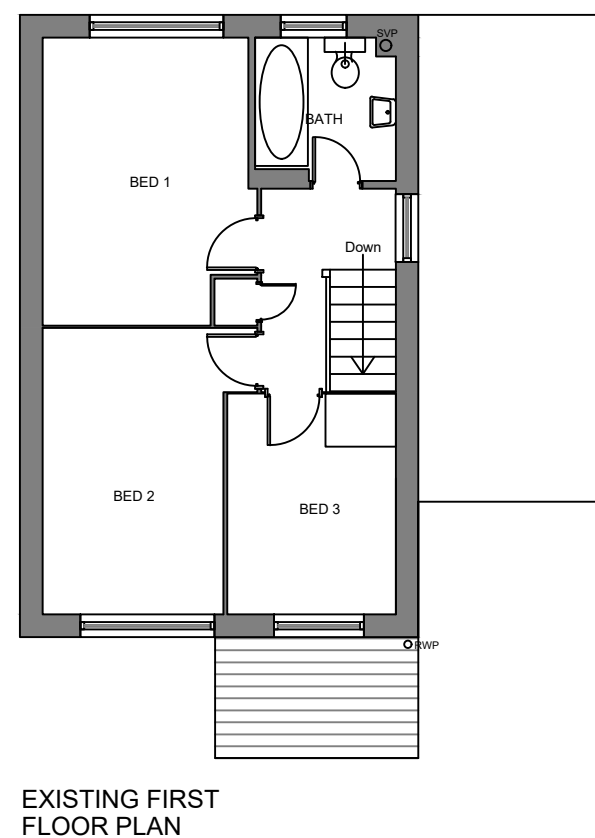
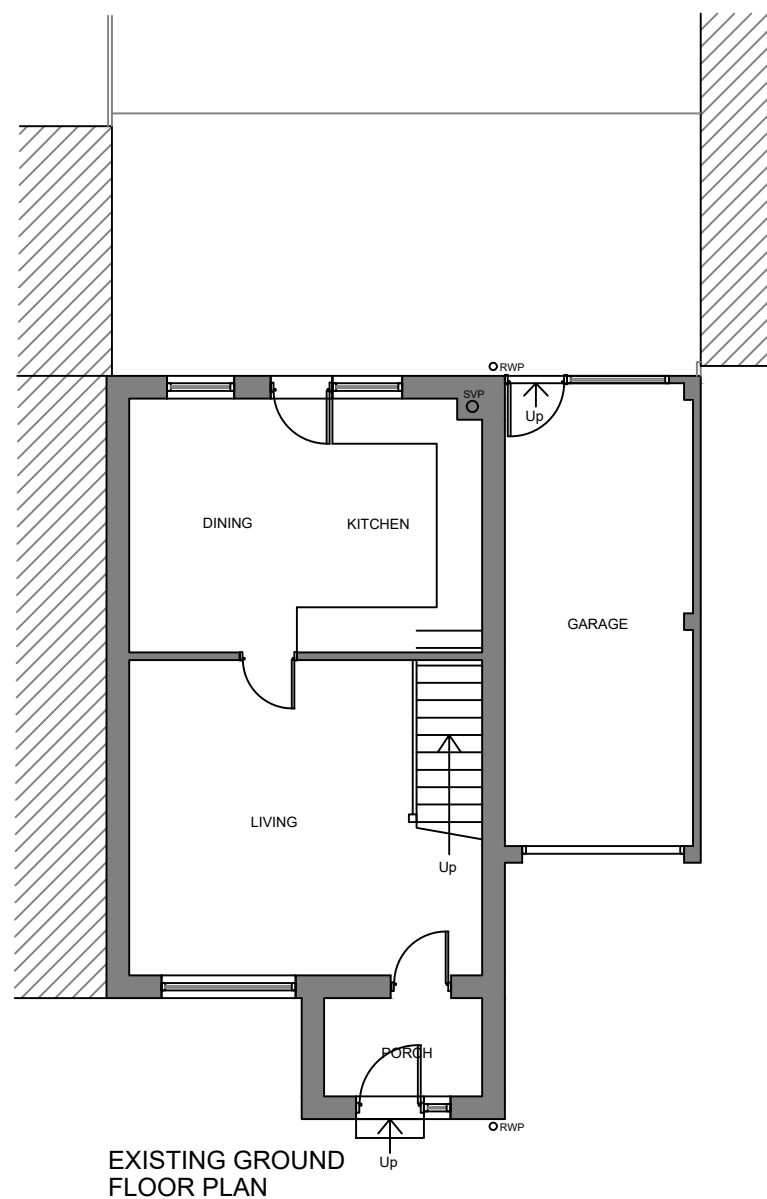
Scale:-
1:200 & 1250 @ A3

Client:-
Kim Morris

Project No:- KM-010	Drawing No: - 01
Date:- Sept 21	Revision:- -

BEFORE COMMENCEMENT OF ANY WORKS
THE CONTRACTOR MUST CHECK AND VERIFY
ALL BUILDING, SITE DIMENSIONS AND
LEVELS, ALL RELEVANT SEWER OUTFALLS,
INVERT LEVELS, AND CONNECTION POINTS

© THIS DRAWING AND THE BUILDING
WORKS ILLUSTRATED ARE COPYRIGHT
AND MAY NOT BE REPRODUCED WITHOUT
WRITTEN PERMISSION



ELEVATION ONE
BUILDING DESIGN LTD

25 WILEY ROAD
DURSLEY, GLOS, GL11 4NJ



Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP
Drawing Title:-
Existing Floor Plans
Scale:-
1:100 @ A3
Client:-
Kim Morris

Project No:-
KM-010

Drawing No:-
02

Date:-
Sept 21

Revision:-
-

Existing Plans

Scale:- 1:100



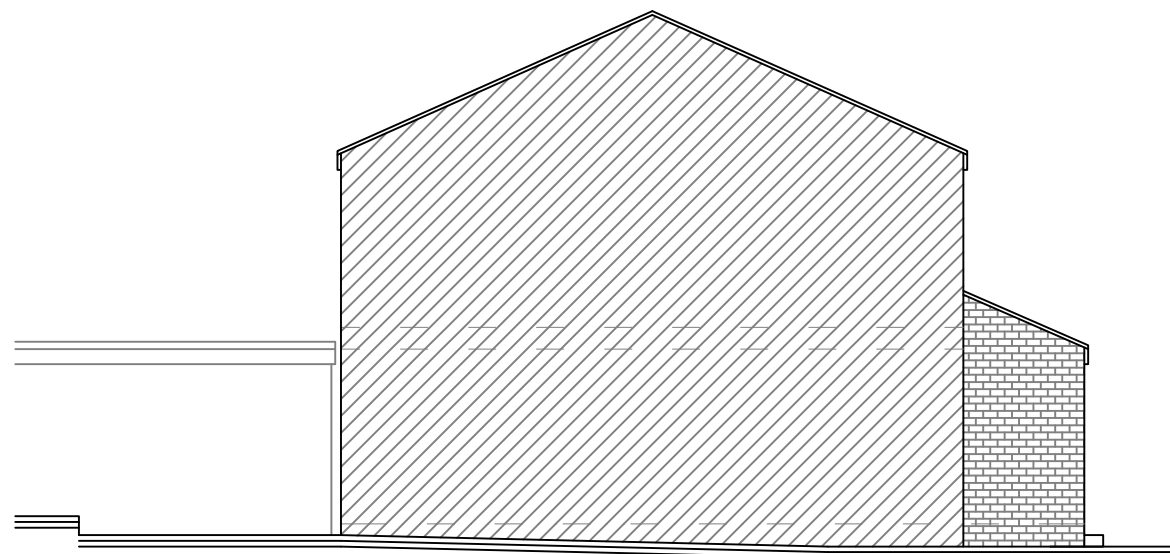
BEFORE COMMENCEMENT OF ANY WORKS THE CONTRACTOR MUST CHECK AND VERIFY ALL BUILDING, SITE DIMENSIONS AND LEVELS, ALL RELEVANT SEWER OUTFALLS, INVERT LEVELS, AND CONNECTION POINTS



THIS DRAWING AND THE BUILDING WORKS ILLUSTRATED ARE COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION



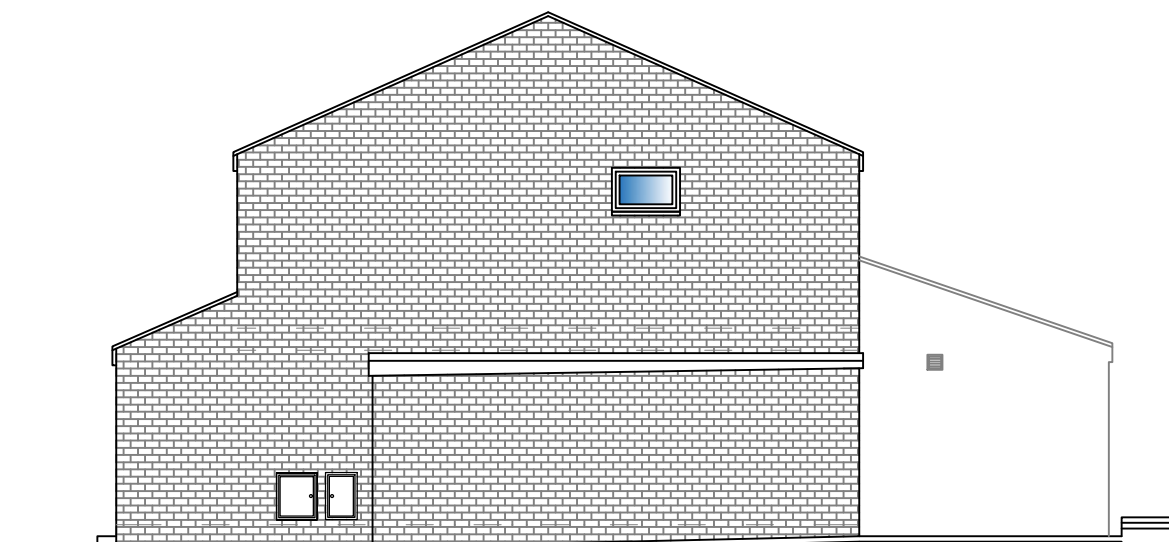
EXISTING FRONT ELEVATION



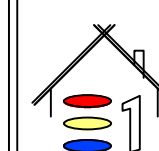
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



ELEVATION ONE
BUILDING DESIGN LTD
25 WLEY ROAD
BURSLEY, GLOS, GL11 4NL
web: www.elevationone.co.uk

Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP
Drawing Title:-
Existing Elevations
Scale:-
1:100 @ A3
Client:-
Kim Morris

Project No:- KM-010	Drawing No: - 03
------------------------	---------------------

Date:- Sept 21	Revision:- -
-------------------	-----------------

Existing Elevations

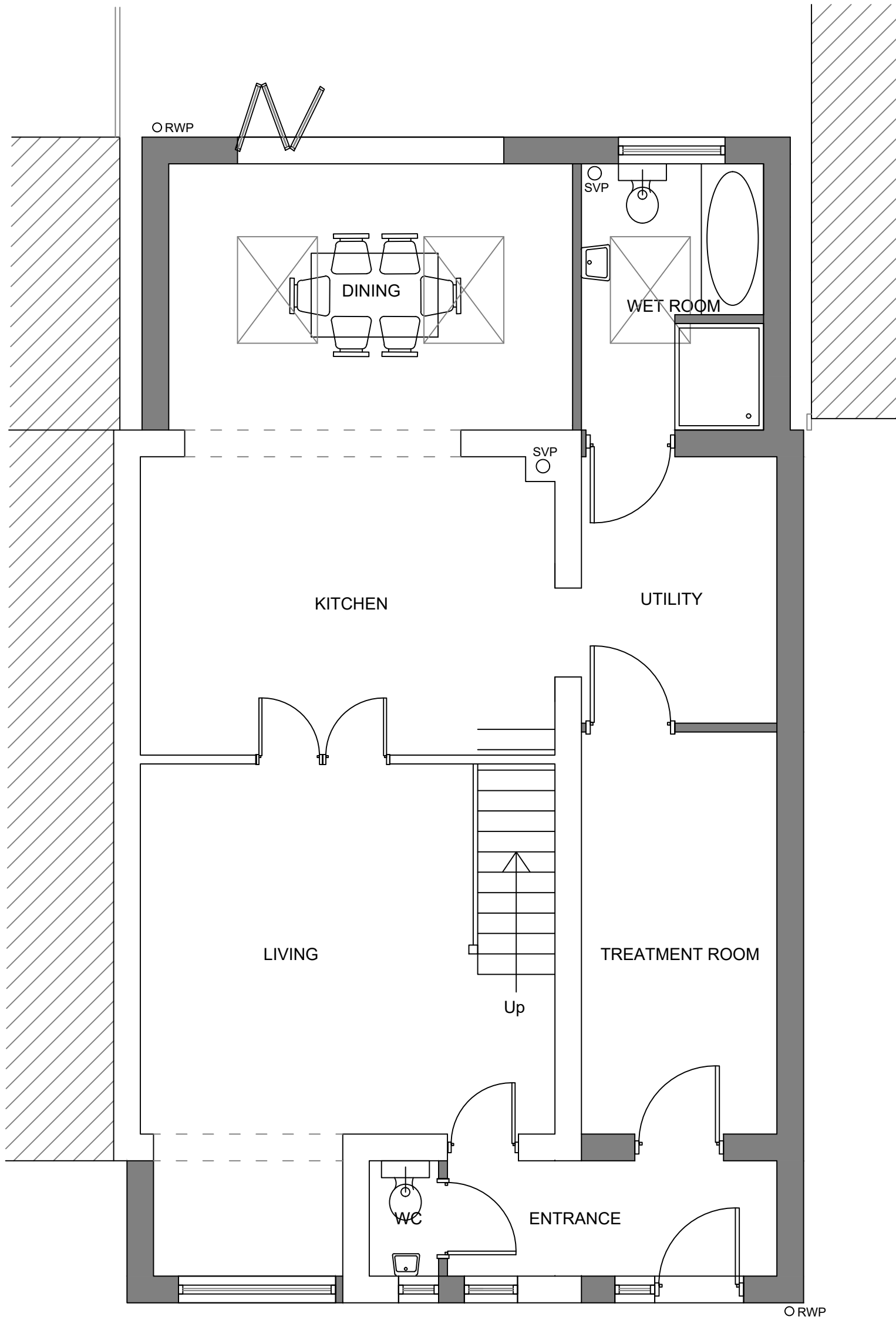
Scale:- 1:100



BEFORE COMMENCEMENT OF ANY WORKS
THE CONTRACTOR MUST CHECK AND VERIFY
ALL BUILDING, SITE DIMENSIONS AND
LEVELS, ALL RELEVANT SEWER OUTFALLS,
INVERT LEVELS, AND CONNECTION POINTS



THIS DRAWING AND THE BUILDING
WORKS ILLUSTRATED ARE COPYRIGHT
AND MAY NOT BE REPRODUCED WITHOUT
WRITTEN PERMISSION

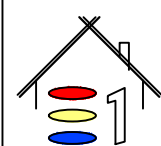


PROPOSED GROUND FLOOR PLAN

Scale:- 1:50



Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP
Drawing Title:-
Proposed GF Plan
Scale:-
1:50 @ A3
Client:-
Kim Morris



ELEVATION ONE
BUILDING DESIGN LTD
25 WLEY ROAD
BURSLEY, GLOS, GL11 4NJ
web: www.elevationone.co.uk

Project No:-
KM-010

Drawing No: -
04

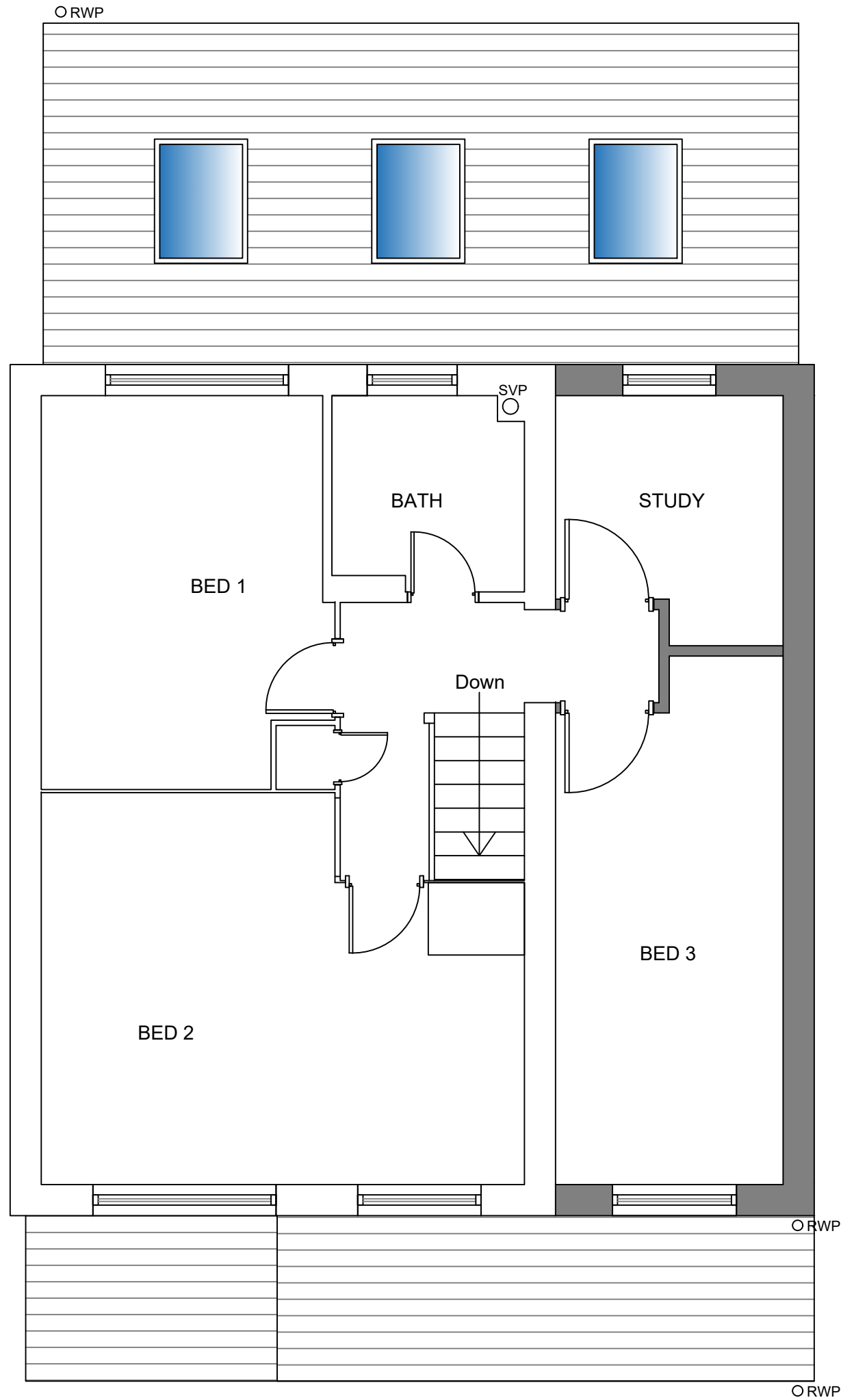
Date:-
Sept 21

Revision:-

BEFORE COMMENCEMENT OF ANY WORKS
THE CONTRACTOR MUST CHECK AND VERIFY
ALL BUILDING, SITE DIMENSIONS AND
LEVELS, ALL RELEVANT SEWER OUTFALLS,
INVERT LEVELS, AND CONNECTION POINTS



THIS DRAWING AND THE BUILDING
WORKS ILLUSTRATED ARE COPYRIGHT
AND MAY NOT BE REPRODUCED WITHOUT
WRITTEN PERMISSION

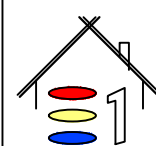


**PROPOSED FIRST
FLOOR PLAN**

Scale:- 1:50



Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP
Drawing Title:-
Proposed FF Plan
Scale:-
1:50 @ A3
Client:-
Kim Morris



**ELEVATION ONE
BUILDING DESIGN LTD**
25 WLEY ROAD
DURSLEY GLOS. GL11 4NL
web: www.elevationone.co.uk

Project No:-
KM-010

Drawing No: -
05

Date:-
Sept 21

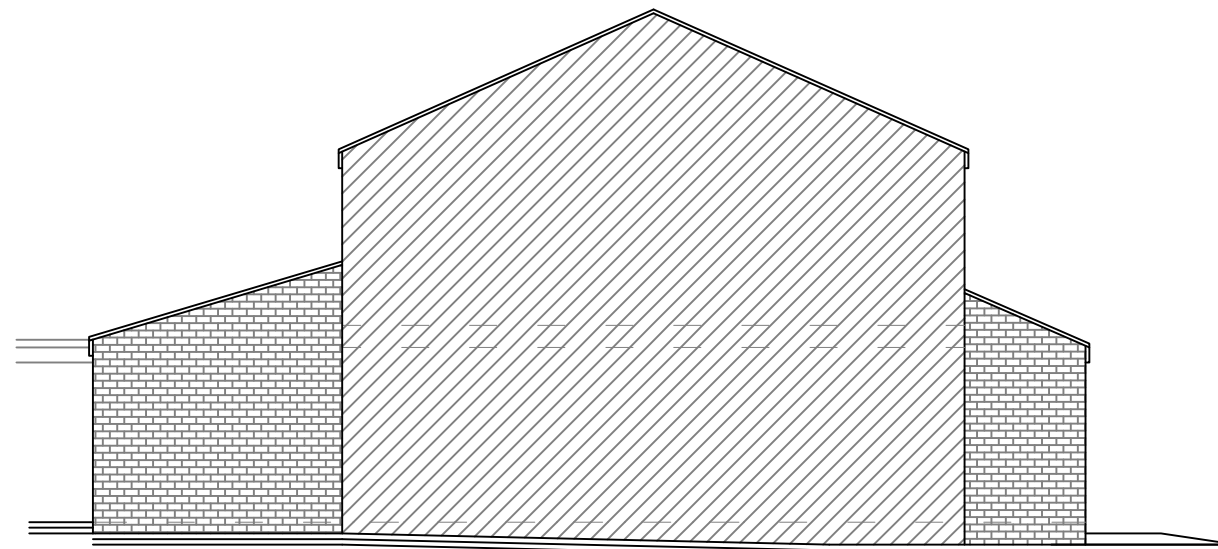
Revision:-

BEFORE COMMENCEMENT OF ANY WORKS THE CONTRACTOR MUST CHECK AND VERIFY ALL BUILDING, SITE DIMENSIONS AND LEVELS, ALL RELEVANT SEWER OUTFALLS, INVERT LEVELS, AND CONNECTION POINTS

© THIS DRAWING AND THE BUILDING WORKS ILLUSTRATED ARE COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION

Materials:-

Walls - to be red brick to match existing house

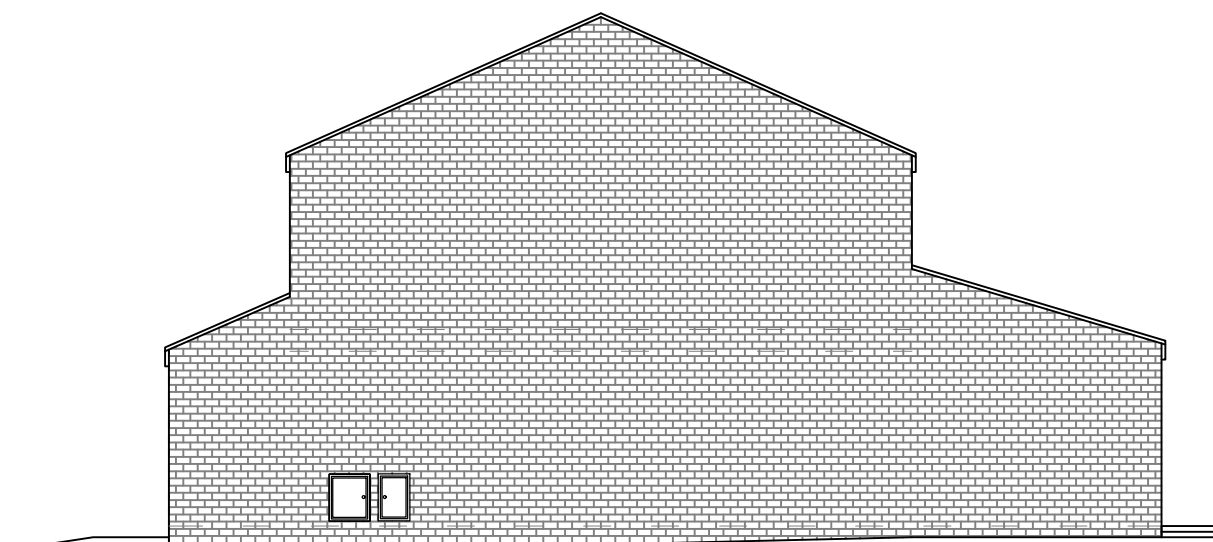
Windows - to be white upvc with matching cover panels

Roof - to be grey concrete tiles to match existing

Fascia - to be upvc white and rainwater goods to be upvc black



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

ELEVATION ONE
BUILDING DESIGN LTD
25 WLEY ROAD
DURSLEY, GLOS, GL11 4NJ
web: www.elevationone.co.uk

Project:-
Extension to
10 Myrtle Close,
Gloucester, GL4 6YP
Drawing Title:-
Proposed Elevations
Scale:-
1:100 @ A3
Client:-
Kim Morris

Project No:-
KM-010

Drawing No:-
06

Date:-
Sept 21

Revision:-

Proposed Elevations

Scale:- 1:100

