

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Site Area

What is the measurement of the site area? (numeric characters only).

Unit

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes  
 No

## Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes  
 No

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes  
 No

Land where contamination is suspected for all or part of the site

- Yes  
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Brick

**Proposed materials and finishes:**

Brickwork to match existing

**Type:**

Roof

**Existing materials and finishes:**

Plain tiles

**Proposed materials and finishes:**

Flat roof to proposed extension

**Type:**

Doors

**Existing materials and finishes:**

Timber & metal units

**Proposed materials and finishes:**

Timber framed unit to match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes  
 No

If Yes, please state references for the plans, drawings and/or design and access statement

21229/1 PROPOSED EXTENSION Existing Survey : Location, Block & Ground Floor Plans,  
21229/2 PROPOSED EXTENSION Existing Survey : Elevations,  
21229/3 PROPOSED EXTENSION Proposed Block & Ground Floor Plans,  
21229/4 PROPOSED EXTENSION Proposed Elevations

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Are there any new public roads to be provided within the site?

- Yes  
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes  
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes  
 No

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes  
 No

Please provide information on the existing and proposed number of on-site parking spaces

### Vehicle Type:

Cars

### Existing number of spaces:

12

### Total proposed (including spaces retained):

12

### Difference in spaces:

0

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course  
 Soakaway  
 Main sewer  
 Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

c) Features of geological conservation importance

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

## Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

Position of waste bins area shown on the Existing Block Plan - drawing 21229/1.

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

If Yes, please provide details:

No change in collection arrangements. Refer to Proposed Block Plan - drawing 21229/3.

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

We don't put any hazardous / dangerous chemicals down any sinks. We use a specialist contractor for disposal of this waste (Cambridge Pet Crematorium) with whom we have an ongoing contract.



## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes  
 No

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes  
 No

Please add details of the Use Classes and floorspace.

**Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)**

**Use Class:**

Other (Please specify)

**Other (Please specify):**

E(e) Provision of medical or health services

**Existing gross internal floorspace (square metres):**

356.6

**Gross internal floorspace to be lost by change of use or demolition (square metres):**

0

**Total gross new internal floorspace proposed (including changes of use) (square metres):**

403

**Net additional gross internal floorspace following development (square metres):**

46.3

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	356.6	0	403	46.399999999999998

### Loss or gain of rooms

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes  
 No

## Existing Employees

Please complete the following information regarding existing employees:

Full-time

7

Part-time

17

Total full-time equivalent

11.80

## Proposed Employees

If known, please complete the following information regarding proposed employees:

Full-time

Part-time

Total full-time equivalent

## Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes

No

Please add details of the of the Use Classes and hours of opening for each non-residential use proposed.

**Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)**

If you do not know the hours of opening, select the Use Class and tick 'Unknown'

**Use Class:**

Other (Please specify)

**Text Field:**

E(e) Provision of medical or health services

**Unknown:**

No

**Monday to Friday:**

**Start Time:**

09:00

**End Time:**

19:00

**Saturday:**

**Start Time:**

11:00

**End Time:**

13:00

**Sunday / Bank Holiday:**

**Start Time:**

11:00

**End Time:**

12:00

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

Yes

No

Is the proposal for a waste management development?

Yes

No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

Yes

No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes
- No

## Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

**Name of Owner/Agricultural Tenant:**

\*\*\*\*\* REDACTED \*\*\*\*\*

**House name:**

Dean Rise

**Number:**

**Suffix:**

**Address line 1:**

Stroud Road

**Address Line 2:**

Painswick

**Town/City:**

Stroud

**Postcode:**

GL6 6UT

**Date notice served (DD/MM/YYYY):**

29/03/2022

**Person Family Name:**

**Name of Owner/Agricultural Tenant:**

\*\*\*\*\* REDACTED \*\*\*\*\*

**House name:**

Curtis Orchard

**Number:**

**Suffix:**

**Address line 1:**

High Street,

**Address Line 2:**

Upton St. Leonards,

**Town/City:**

Gloucester

**Postcode:**

GL4 8DL

**Date notice served (DD/MM/YYYY):**

29/03/2022

**Person Family Name:**

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

29/03/2022

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

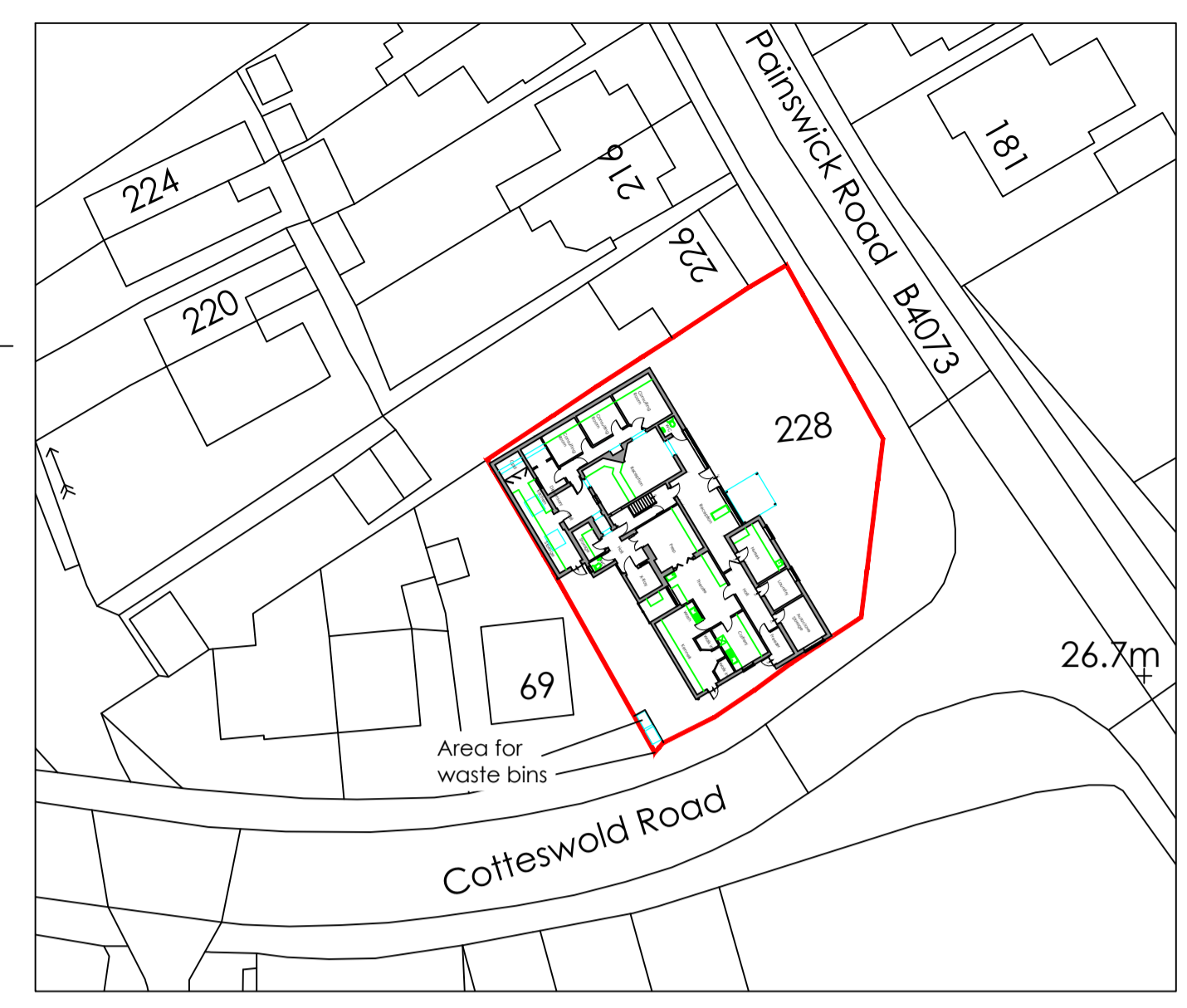
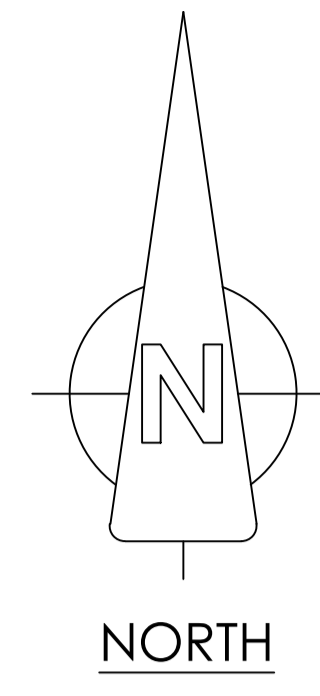
I / We agree to the outlined declaration

Signed

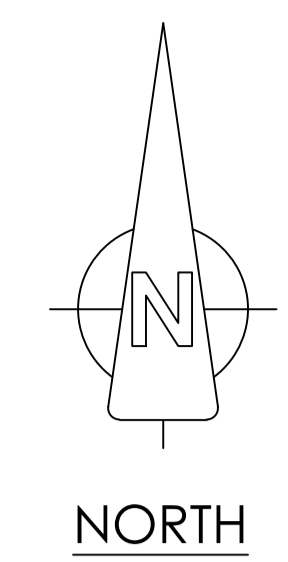
Russell Elliott

Date

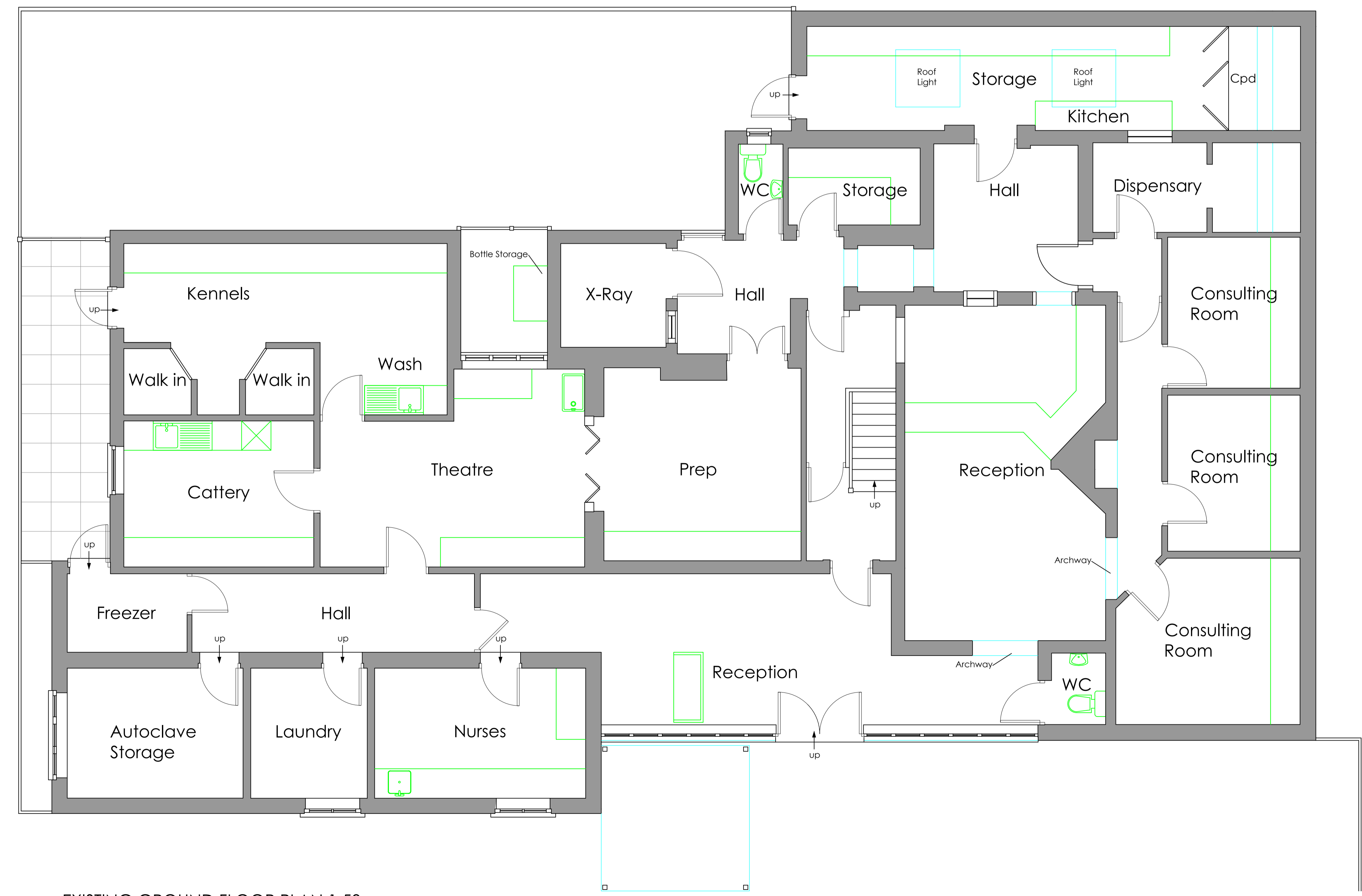
31/03/2022



EXISTING BLOCK PLAN 1:500



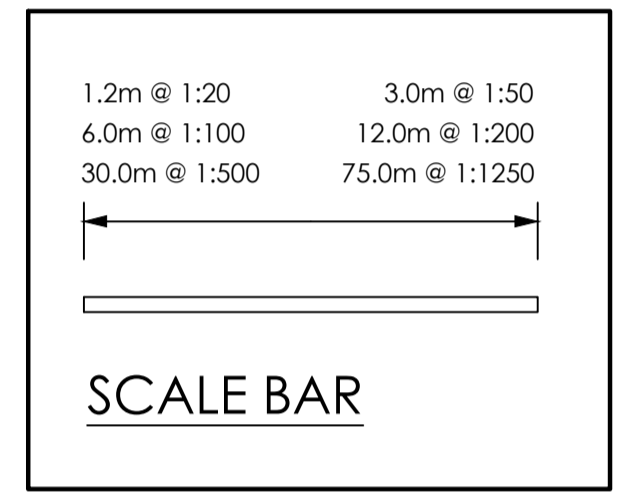
LOCATION MAP 1:1250



EXISTING GROUND FLOOR PLAN 1:50

• NOTES

1. Refer to:  
ORIGINAL DRAWING SIZE A1



A	Updated	gh	May 22
Issue	Details	By	Date

• CLIENT  
SPA Veterinary Services Ltd.

• JOB LOCATION  
228 Painswick Road,  
Gloucester, GL4 4PH

• TITLE  
PROPOSED EXTENSION  
Existing Survey  
Location Map, Block &  
Ground Floor Plans

All dimensions to be checked on site  
This drawing is COPYRIGHT

**MDHP**   
Consulting Civil & Structural Engineers  
52 High Street Stonehouse Glos GL10 2NA

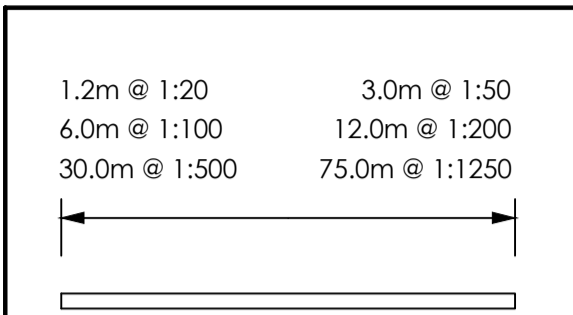
• DRAWN	MR	• SCALE	1:50,
• DATE	Mar 22		1:500, 1:1250

• DRAWING No.  
21229/1A

• NOTES

1. Refer to:

ORIGINAL DRAWING SIZE A1



SCALE BAR

A	Updated	gh	May 22
Issue	Details	By	Date

• CLIENT  
SPA Veterinary Services Ltd.

• JOB LOCATION  
228 Painswick Road,  
Gloucester, GL4 4PH

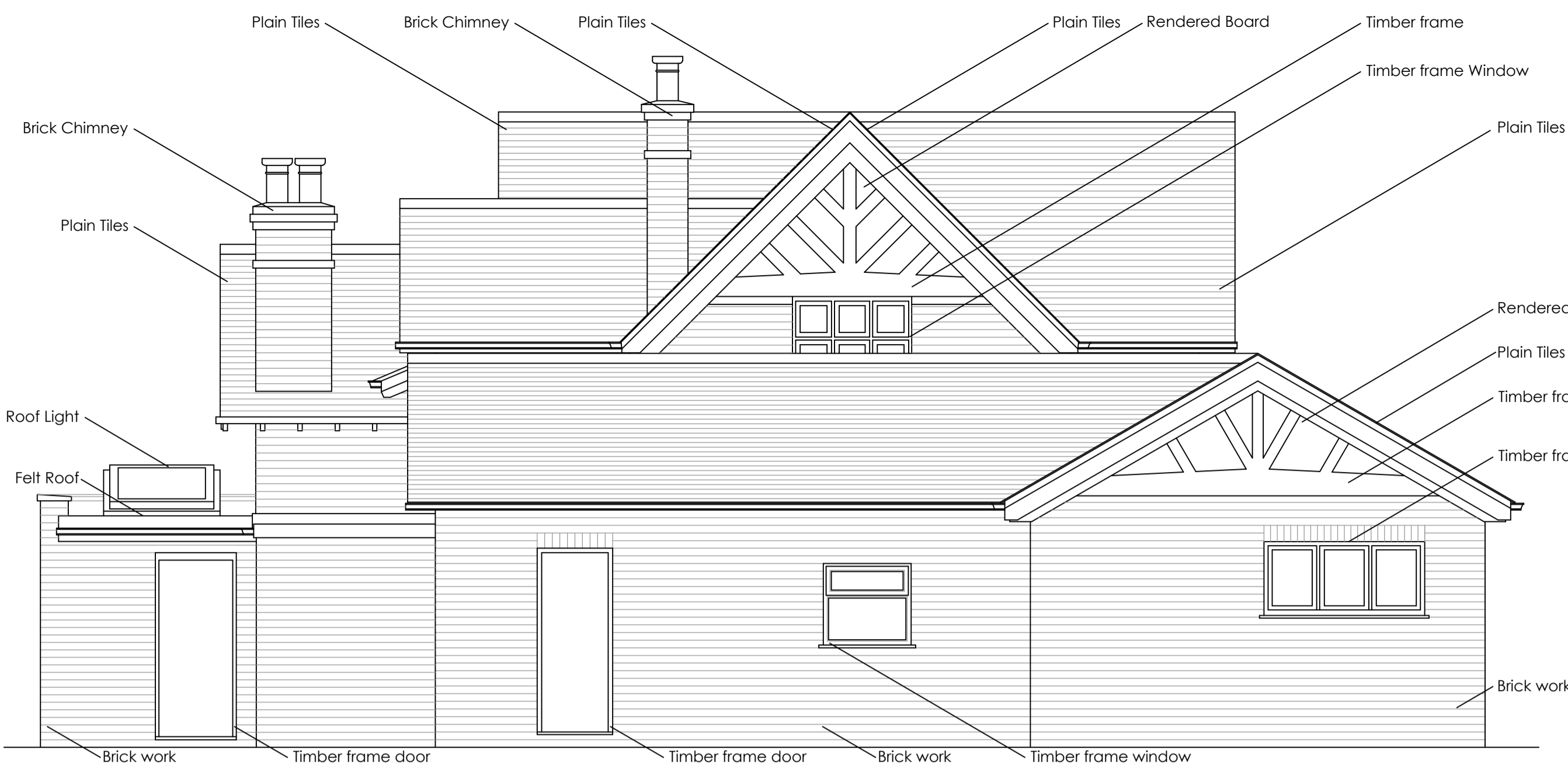
• TITLE  
PROPOSED EXTENSION  
Existing Survey, Elevations

All dimensions to be checked on site  
This drawing is COPYRIGHT

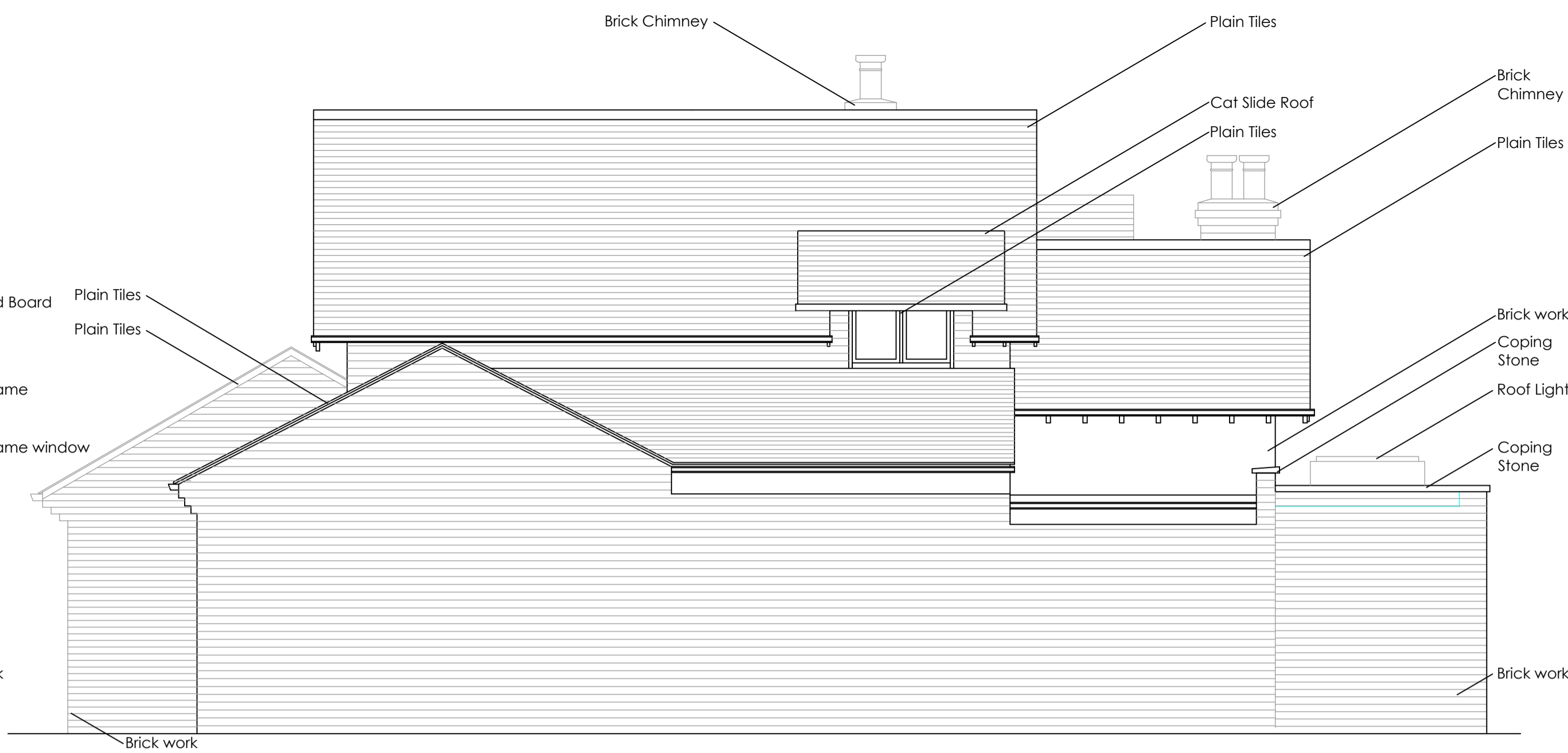
**MDHP**   
Consulting Civil & Structural Engineers  
52 High Street Stonehouse Glos GL10 2NA

• DRAWN MR • SCALE 1:50  
• DATE Mar 22

• DRAWING No.  
21229/2A



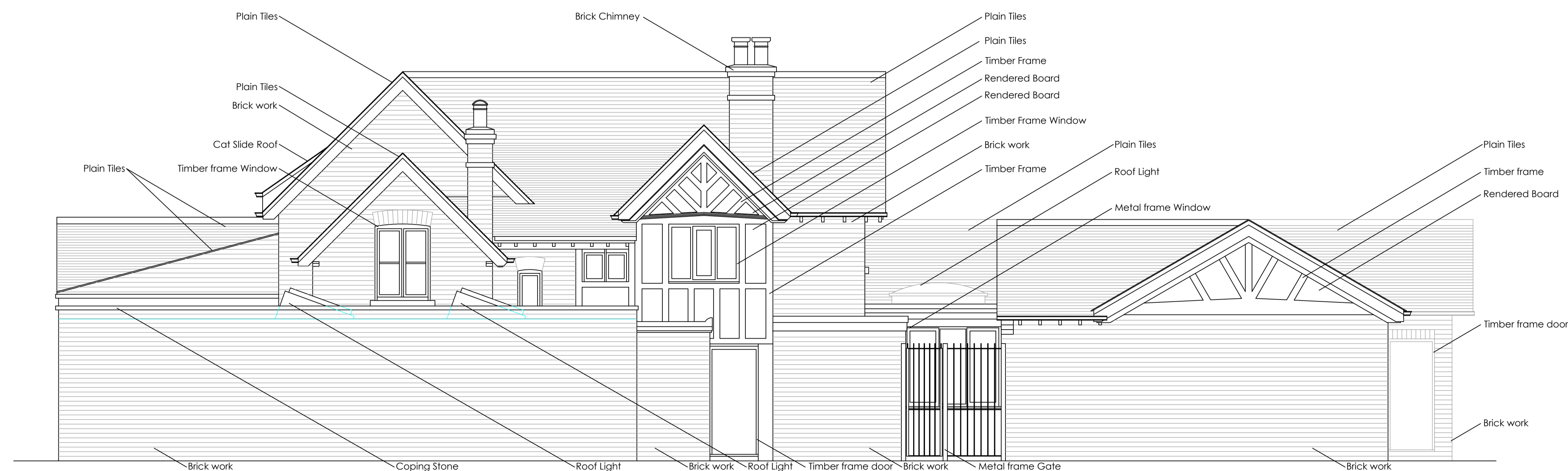
EXISTING SIDE ELEVATION 1:50



EXISTING SIDE ELEVATION 1:50

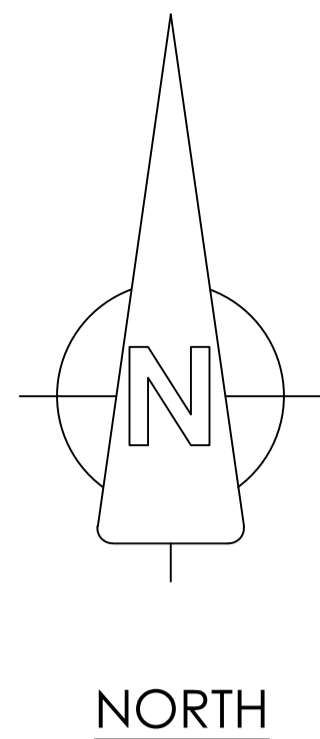


EXISTING FRONT ELEVATION 1:50



EXISTING REAR ELEVATION 1:50



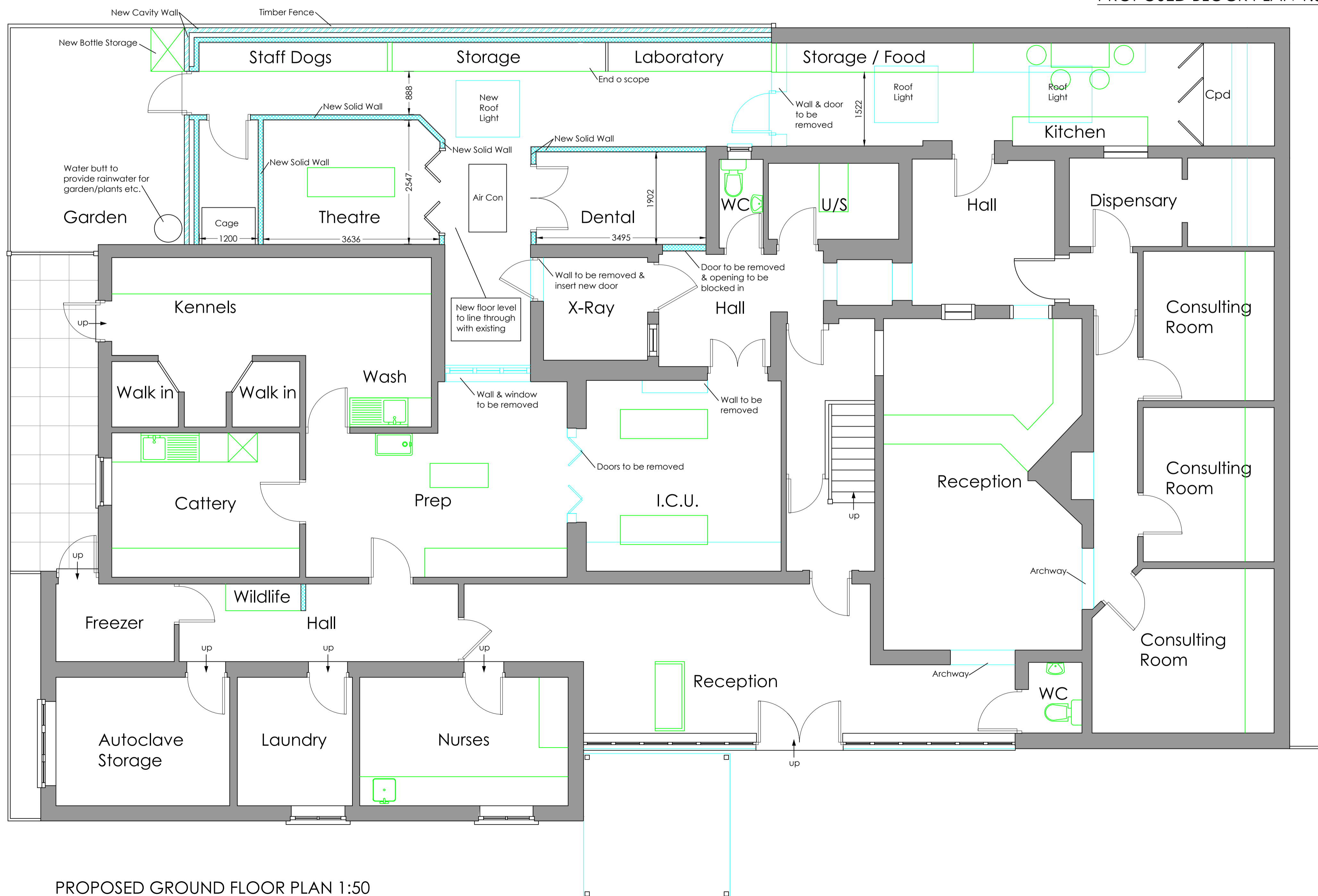
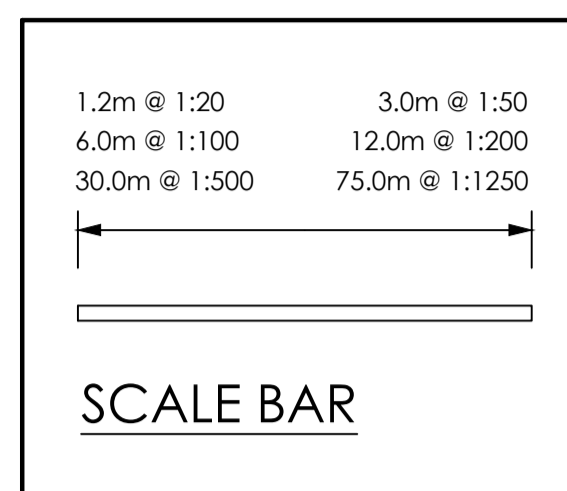


PROPOSED BLOCK PLAN 1:500

NOTES

1. Refer to:

ORIGINAL DRAWING SIZE A1



PROPOSED GROUND FLOOR PLAN 1:50

A	Updated	gh	May 22
Issue	Details	By	Date

CLIENT  
SPA Veterinary Services Ltd.

JOB LOCATION  
228 Painswick Road,  
Gloucester, GL4 4PH

TITLE  
PROPOSED EXTENSION  
Proposed Block & Ground  
Floor Plans

All dimensions to be checked on site  
This drawing is COPYRIGHT

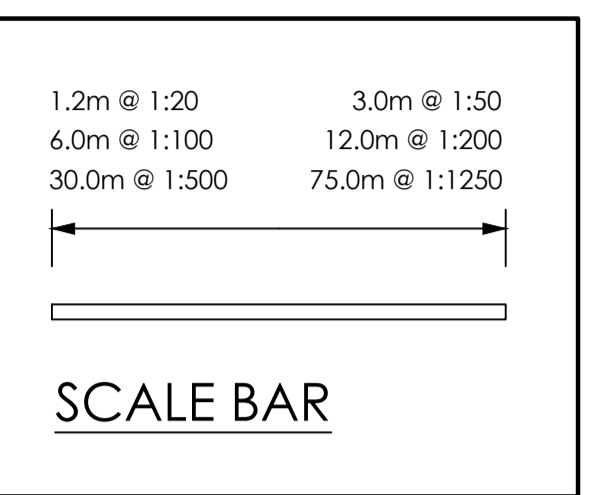
**MDHP**   
Consulting Civil & Structural Engineers  
52 High Street Stonehouse Glos GL10 2NA

DRAWN	MR	SCALE
DATE	Mar 22	1:50, 1:500

DRAWING No.  
21229/3A

• NOTES

1. Refer to:  
ORIGINAL DRAWING SIZE A1



A	Updated	gh	May 22
Issue	Details	By	Date

• CLIENT  
SPA Veterinary Services Ltd.

• JOB LOCATION  
228 Painswick Road,  
Gloucester, GL4 4PH

• TITLE  
**PROPOSED EXTENSION**  
Proposed Elevations

All dimensions to be checked on site  
This drawing is COPYRIGHT

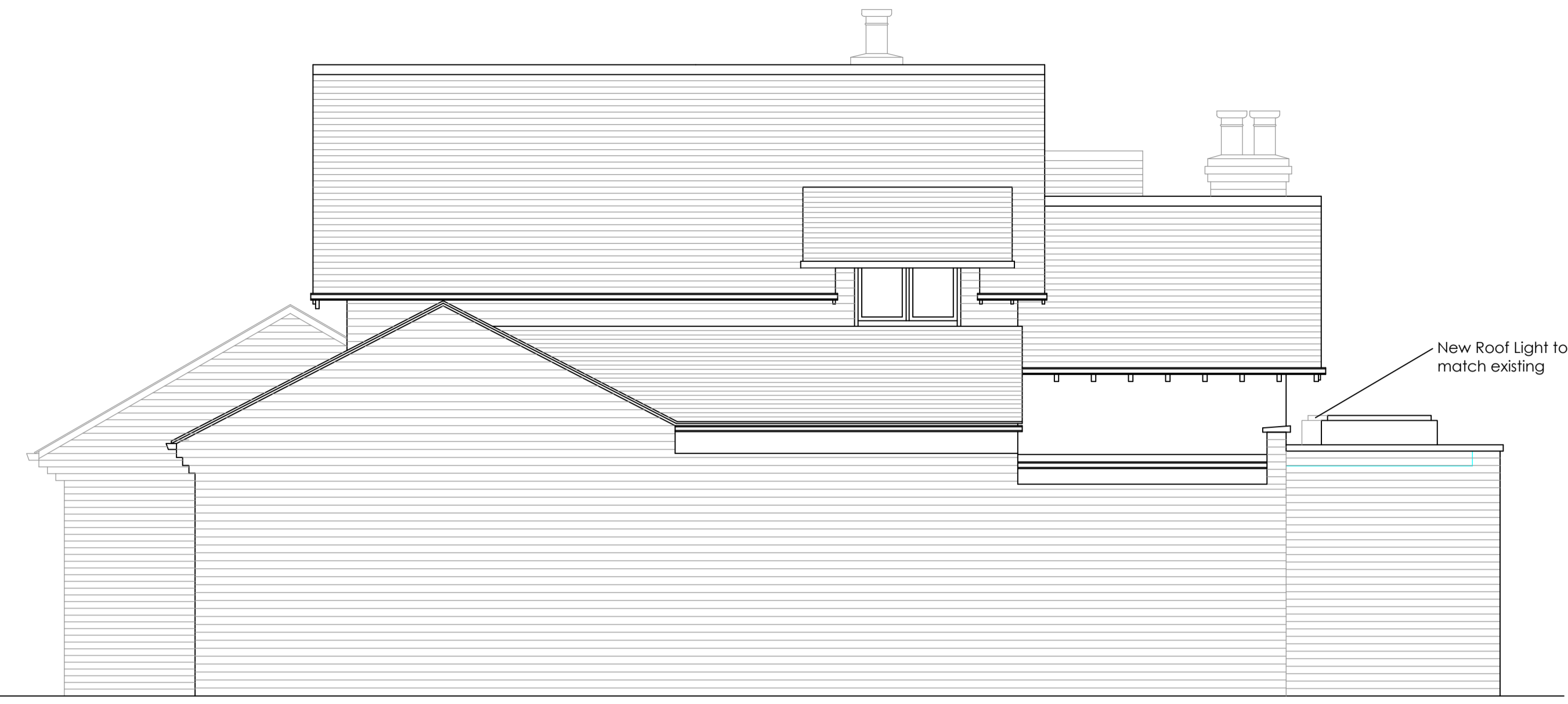
**MDHP**   
Consulting Civil & Structural Engineers  
52 High Street Stonehouse Glos GL10 2NA

• DRAWN MR      • SCALE 1:50  
• DATE Mar 22

• DRAWING No.  
21229/4A



PROPOSED SIDE ELEVATION 1:50



PROPOSED SIDE ELEVATION 1:50



PROPOSED FRONT ELEVATION 1:50



PROPOSED REAR ELEVATION 1:50

21229/RE/gh

25<sup>th</sup> May 2022

**EXTENSION & ALTERATIONS TO SPA VETS, 228 PAINSWICK ROAD,  
GLOUCESTER, GL4 4PH**

**FLOOD RISK ASSESSMENT:**

**1.00 INTRODUCTION:**

This is a substantial detached building, primarily finished in brick under plain tiled roofs, located at Painswick Road, Gloucester. It is used as a commercial veterinary business, known As SPA Veterinary Services Ltd.

A full planning application has been submitted to allow a single storey rear extension under reference S.22/00352/FUL.

**2.00 FLOOD ZONE:**

According to the Environment Agency Flood Map for Planning this site is located within flood zones 1- 3. Refer to attached Flood Map For Planning document.

Historically, after a local flooding incident in approximately 2007, a foul drain non return drainage valve was installed on site and remains to help protect the site.

**3.00 PROPOSALS:**

This application proposes to construct a single storey extension to the rear of the property. This will allow expansion of the current veterinary clinical practices by providing extra facilities such as operating theatre, dental clinic, laboratory space and storage. At less than 50m<sup>2</sup> additional floor area this is minor extension.

**4.00 LAYOUT & LEVELS:**

The existing layout of the building along with location & block plans can be seen on drawing 21229/1A with existing elevations shown on 21229/2A. Proposed floor and block plans can be seen on drawing 21229/3A, with proposed elevations on drawing 21229/4A.

Current floor and ground levels will not change, with the proposed floor level to match that of the existing premises.

**5.00 FLOOD RISK IMPACT:**

This building is intended for general industrial and professional services use, therefore is classed as 'less vulnerable'.

As this is a minor development, which does not include any extra proposed toilet facilities, and is single storey at existing ground level, there is unlikely to be any change in the current level of flood risk.

Surface water drainage from the new roof is proposed to be directed into water butts, collected and subsequently used for garden/plant watering etc, thereby mitigating the risk of increasing flood probability.

**6.00 CONCLUSION:**

Taking into account the scale of the proposed development, improvements in recent years to the River Twyver and Sud Brook by the Gloucester Rivers Improvement Project and proposed surface water collection, along with the in situ non return valve, it is considered that overall, these proposals will not adversely affect the current flood risk.

# Flood map for planning

Your reference  
**21229**

Location (easting/northing)  
**384772/216496**

Created  
**24 Mar 2022 14:50**

**Your selected location is in flood zone 1, an area with a low probability of flooding.**

## **This means:**

- you don't need to do a flood risk assessment if your development is smaller than 1 hectare and not affected by other sources of flooding
- you may need to do a flood risk assessment if your development is larger than 1 hectare or affected by other sources of flooding or in an area with critical drainage problems

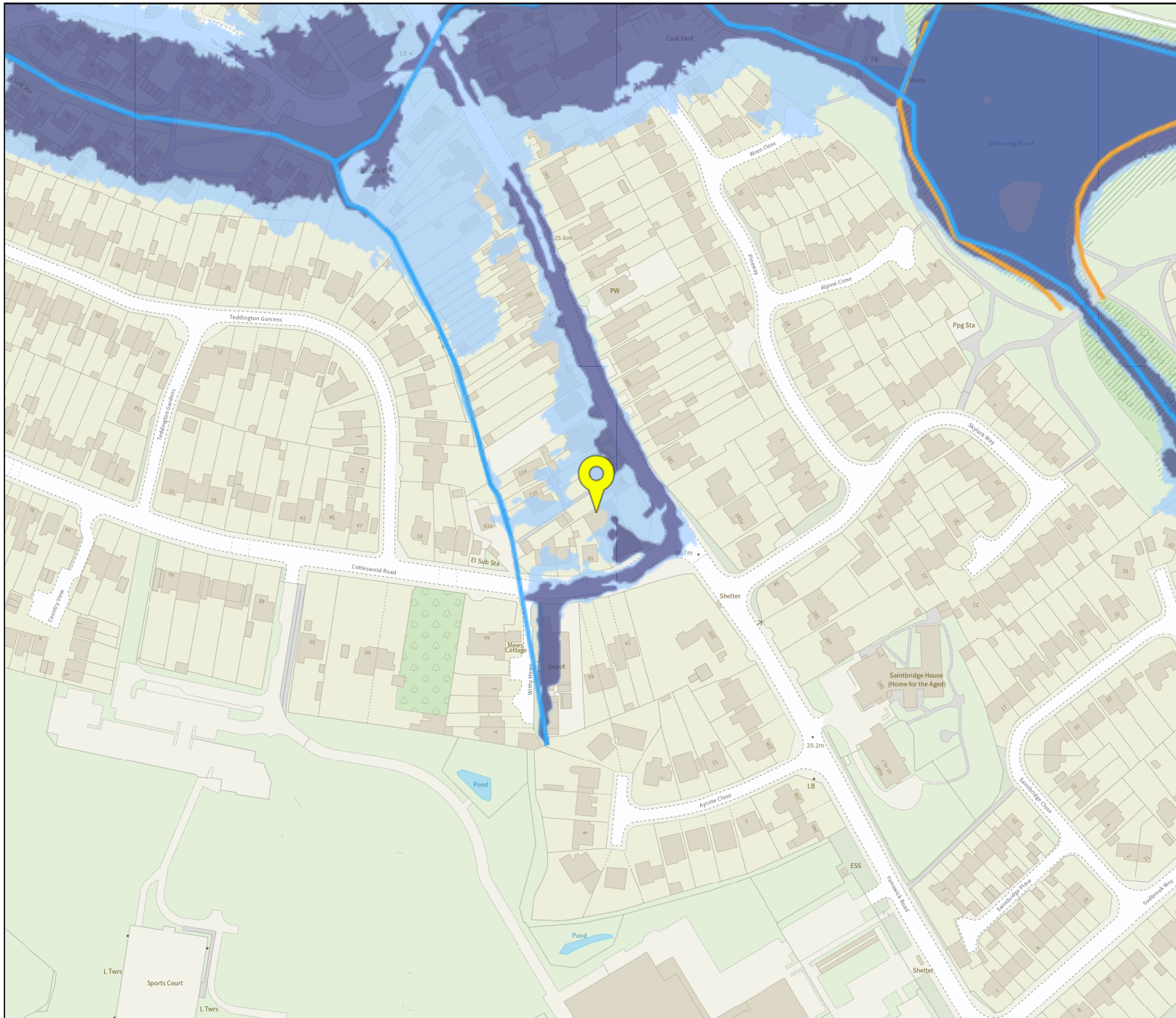
## **Notes**

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2021 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>



### Flood map for planning

Your reference  
**21229**

Location (easting/northing)  
**384772/216496**

Scale  
**1:2500**

Created  
**24 Mar 2022 14:50**

- Selected point
  - Flood zone 3
  - Flood zone 3: areas benefiting from flood defences
  - Flood zone 2
  - Flood zone 1
  - Flood defence
  - Main river
  - Flood storage area
-