

Application for approval of details reserved by condition.  
Town and Country Planning Act 1990  
Planning (Listed Buildings and Conservation Areas) Act 1990

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Site Address**

Number

Suffix

Property name

Address line 1

Address line 2

Address line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

**2. Applicant Details**

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

## 2. Applicant Details

Country	<input type="text"/>
Postcode	<input type="text" value="BS32 4UD"/>
Are you an agent acting on behalf of the applicant?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email address	<input type="text"/>

## 3. Agent Details

No Agent details were submitted for this application

## 4. Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

Reserved Matters for 420 residential dwellings, public open space including two pitches, allotments, community orchard, a community building, associated landscaping and noise bund, pursuant to Condition 2 of Planning Permission 14/01063/OUT, also including information pursuant to planning conditions 27, 34, 35.

Reference number

Date of decision (date must be pre-application submission)

Please state the condition number(s) to which this application relates

Condition number(s)

Has the development already started?

Yes  No

If Yes, please state when the development was started (date must be pre-application submission)

Has the development been completed?

Yes  No

## 5. Part Discharge of Conditions

Are you seeking to discharge only part of a condition?

Yes  No

## 6. Discharge of Conditions

Please provide a full description and/or list of the materials/details that are being submitted for approval

## 7. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes  No

## 7. Site Visit

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

## 8. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes  No

## 9. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

21/12/2021



## LEGEND

### FACING MATERIALS

	BRICK 1 - IBSTOCK BRIDGWATER WEATHERED RED
	BRICK 2 - IBSTOCK BRUNSWICK ANTIQUE RED
	BRICK 3 - WIENERBERGER CALDERA RED MULTI
	BRICK 4 - WHITE PAINTED BRICK

BRICK 5 - DETAIL BRICK - IBSTOCK STAFFORDSHIRE BLUE

### ROOFING MATERIALS

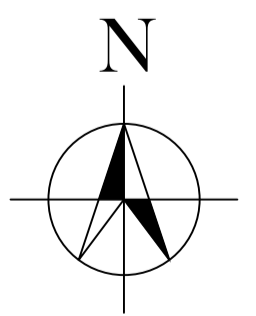
▲	RUSSELL PENNINE COLOUR: COTTAGE RED
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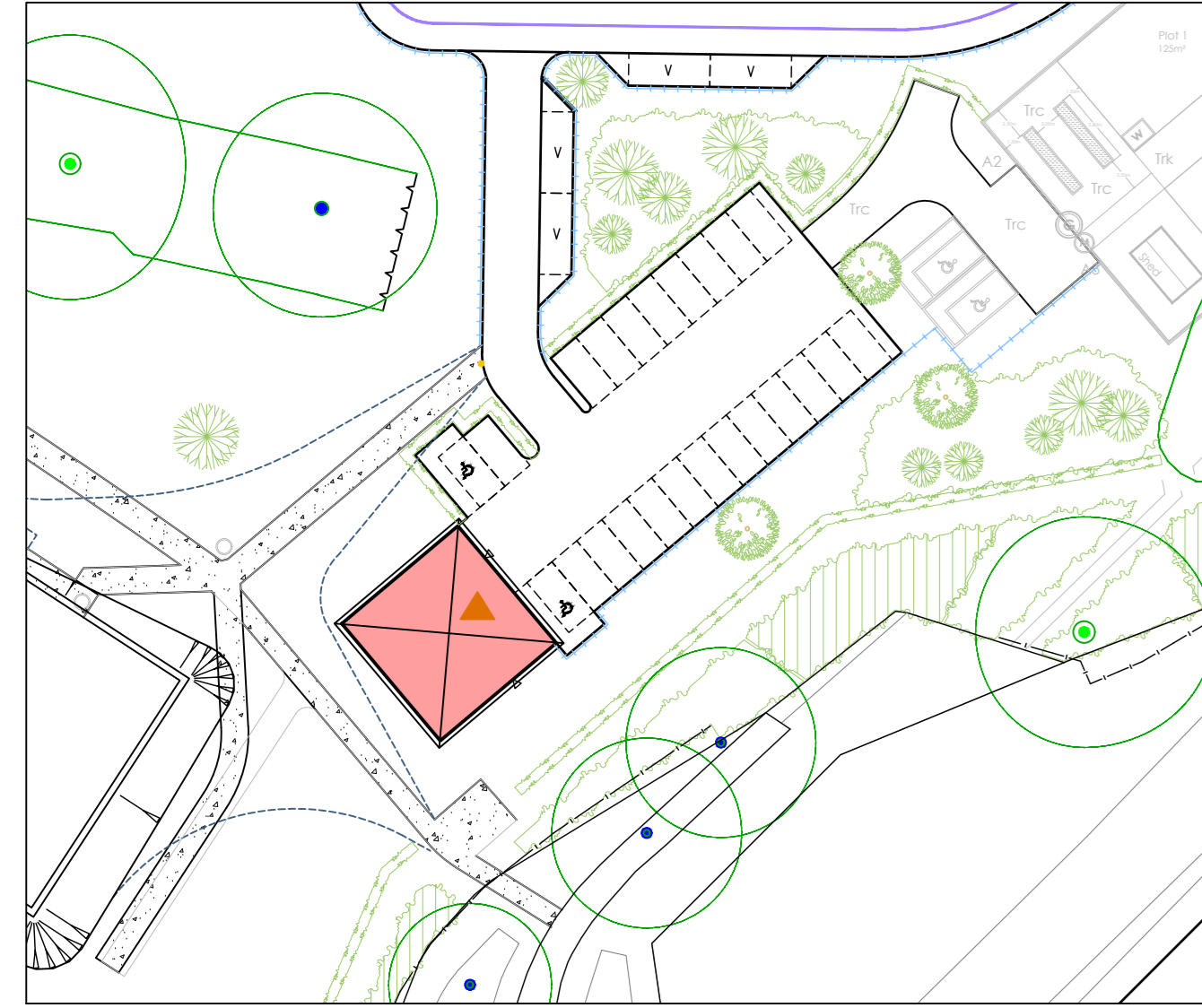
### MISCELLANEOUS

- FASCIA - WHITE UPVC
- WINDOWS - WHITE UPVC
- ALL WINDOWS TO HAVE A MINIMUM 75mm REVEAL
- RAINWATER GOODS - BLACK UPVC
- GARAGE DOORS - PAINTED STEEL
- DOORS - IG COMPOSITE
- DOOR COLOURS TO BE:
  - BLACK - RAL 9005
  - STONE GREY - RAL 7030 (OR SIMILAR)
  - REED GREEN - RAL 6013 (OR SIMILAR)
- DPC - BRICKS TO MATCH MAIN FACING BRICK UNLESS DENOTED OTHERWISE
- ALL ROOF VENTS TO BE MATCHED TO ROOF MATERIAL
- METER BOXES TO BE PAINTED TO MATCH THE FACING MATERIAL COLOUR THEY ARE MOUNTED ON.
- IBSTOCK WILTON YELLOW TO BE USE FOR ALL WINDOW SURROUNDS

### REVISIONS:

- A. 2019-01-03. Updated following LA comments. DJE
- B. 2019-01-28. Legend amended to suit client comments. DGK
- C. 2019-01-30. Plots 311-326, 331-322 and 409 amended, road in front of plots 343-346 revised to be shared surface. MED
- D. 2019-03-11. Various plots amended to address local authority comments. SO
- E. 2019-03-22. Amendments made following final comments from LPA. MED
- F. 2019-04-08. Layout updated in accordance with further LPA comments. MED
- G. 2019-04-12. Layout updated in accordance with further LPA comments. MED
- H. 2019-07-03. Roof material allocation and brick painted units updated as per client request. Legend updates; roof brown colour swapped to red and painted brick presentation style changed. SO
- I. 2019-10-04. Folkestone house type replaced with Maidstone and note added to Legend regarding window surrounds. AJA
- J. 2021-01-29. Roofing materials updated to suit LPA comments. DGK
- K. 2021-07-12. Updated to suit revised Planning Layout 0665-102 L. DJE
- L. 2021-11-23. Updated to suit revised Planning Layout 0665-102-1 O and 0665-102-2 M. DJE





COMMUNITY BUILDING

LEGEND	
FACING MATERIALS	
	BRICK 1 - IBSTOCK BRIDGWATER WEATHERED RED
	BRICK 2 - IBSTOCK BRUNSWICK ANTIQUE RED
	BRICK 3 - WIENERBERGER CALDERA RED MULTI
	BRICK 4 - WHITE PAINTED BRICK
BRICK 5 - DETAIL BRICK - IBSTOCK STAFFORDSHIRE BLUE	
ROOFING MATERIALS	
	RUSSELL PENNINE COLOUR: COTTAGE RED
	RUSSELL PENNINE COLOUR: BURNT ORANGE
MISCELLANEOUS	
<ul style="list-style-type: none"> <li>FASCIA - WHITE UPVC</li> <li>WINDOWS - WHITE UPVC</li> <li>ALL WINDOWS TO HAVE A MINIMUM 75mm REVEAL</li> <li>RAINWATER GOODS - BLACK UPVC</li> <li>GARAGE DOORS - PAINTED STEEL</li> <li>DOORS - IG COMPOSITE</li> <li>DOOR COLOURS TO BE:                             <ul style="list-style-type: none"> <li>BLACK - RAL 9005</li> <li>STONE GREY - RAL 7030 (OR SIMILAR)</li> <li>REED GREEN - RAL 6013 (OR SIMILAR)</li> </ul> </li> <li>DPC - BRICKS TO MATCH MAIN FACING BRICK UNLESS DENOTED OTHERWISE</li> <li>ALL ROOF VENTS TO BE MATCHED TO ROOF MATERIAL</li> <li>METER BOXES TO BE PAINTED TO MATCH THE FACING MATERIAL COLOUR THEY ARE MOUNTED ON.</li> <li>IBSTOCK WILTON YELLOW TO BE USED FOR ALL WINDOW SURROUNDS</li> </ul>	

**REVISIONS:**

A. 2019-01-03: Updated following LA comments. DJE  
 B. 2019-01-28: Legend amended to suit client comments. DGK  
 C. 2019-01-30: Plots 311-326, 331-322 and 409 amended. road in front of plots 343-346 revised to be shared surface. MED  
 D. 2019-03-11: Various plots amended to address local authority comments. SO  
 E. 2019-03-22: Amendments made following final comments from LPA. MED  
 F. 2019-04-08: Layout updated in accordance with further LPA comments. MED  
 G. 2019-04-12: Layout updated in accordance with further LPA comments. MED  
 H. 2019-05-13: Layout updated in accordance with further LPA comments. SO  
 I. 2019-07-03: Roof material allocation and brick painted units updated as per client request. Legend updated roof colour swapped to red and painted brick presentation style changed. SO  
 J. 2019-10-04: Folkstone house type replaced with Madstone and note added to Legend regarding window surrounds. AJA  
 K. 2021-01-29: Roofing materials updated to suit LPA comments. DGK  
 L. 2021-07-12: Updated to suit revised Planning Layout 0665-102 L. DJE  
 M. 2021-12-07: Russel Pennine Slate Grey changed to Russel Pennine Burnt Orange as per client request. Legend updated to suit. DGK  
 N. 2021-12-08: Updated to suit revised Planning Layout 0665-102-1 O and 0665-102-2 M. DJE

